

Drain: SMELBORNE GREENS DRAIN **Drain #:** 274
Improvement/Arm: HUNTINGFIELD SECTION 1
Operator: JDH **Date:** 7-26-04
Drain Classification: Urban/Rural **Year Installed:** 1994

GIS Drain Input Checklist

- Pull Source Documents for Scanning JDH
- Digitize & Attribute Tile Drains N/A
- Digitize & Attribute Storm Drains JDH
- Digitize & Attribute SSD JDH
- Digitize & Attribute Open Ditch N/A
- Stamp Plans JDH
- Sum drain lengths & Validate JDH
- Enter Improvements into Posse JDH
- Enter Drain Age into Posse _____
- Sum drain length for Watershed in Posse _____
- Check Database entries for errors JDH

Gasb 34 Footages for Historical Cost Drain Length Log

Drain-Improvement: SNA BOONE GREENE DRAIN - HUNTERSFIELD - SECTION 4

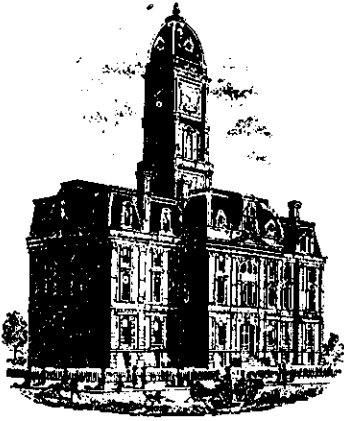
Drain Type:	Size:	Length <small>SUPPLEMENTAL REPORT</small>	Length (DB Query)	Length Reconcile	If Applicable	
					Price:	Cost:
SSD	6"	4,750'	8,549'	+3,799'		
ROC	12"	2,009'	2,099'	+90'		
	15"	1,367'	1,367'	∅		
	18"	760'	760'	∅		
	24"	1,496'	1,460'	-36'		
	30"	892'	892'	∅		
	36"	599'	599'	∅		
CMP	8"	20'	20'	∅		

Sum: 11,893' 15,746' +3,853'

Final Report: _____

Comments:

SA AND AB DISCREPANCY ON 6" SSD, 12" AND 24" ROC LENGTHS.



SURVEYOR'S OFFICE
Hamilton County

Kenton C. Ward, Surveyor

Suite 146

776-8495

One Hamilton County Square

Noblesville, Indiana 46060-2230

November 30, 1994

TO: Hamilton County Drainage Board

RE: Twin Lakes Drain-Huntersfield Arm

Attached is a petition, non-enforcement request, plans, calculations, quantity summary, and assessment roll for the Twin Lakes Drain-Huntersfield Arm. I have reviewed the submittals and petition and have found each to be in proper form.

I have made a personal inspection of the land described in the petition. Upon doing so, I believe that the drain is practicable; will improve the public health; benefit a public highway and be of public utility; and that the costs, damages and expenses of the proposed drain will probably be less than the benefits accruing to the owners of land likely to be benefited. The drain will consist of the following:

6"	SSD	2167 feet	18"	RCP	766 feet
8"	CMP	20 feet	24"	RCP	1502 feet
12"	RCP	2012 feet	30"	RCP	916 feet
15"	RCP	1357 feet	36"	RCP	678 feet

The total length of the drain will be 9,418 feet.

The retention pond (lake) located at the rear of Lots 25-30 37-47, is not to be considered part of the regulated drain. Only the inlet and outlet will be maintained as part of the regulated drain. The maintenance of the pond (lake) will be the responsibility of the Homeowners Association. The Board will however, retain jurisdiction for ensuring the storage volume for which the lake was designed will be retained. Thereby, allowing no fill or easement encroachments.

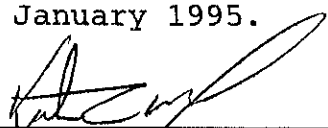
The subsurface drains (SSD) to be part of the regulated drain are those located under the curbs and those main lines between lots or in rear yards. Only the main SSD lines which are located within the right of way are to be maintained as regulated drain. Laterals for individual lots will not be considered part of the regulated drain. The portion of the SSD which will be regulated other than those under curbs are as follows: Rear of Lots 50, 52 and 53; Rear of Lots 24 and 25.

I have reviewed the plans and believe the drain will benefit each lot equally. Therefore, I recommend each lot be assessed equally. I also believe that no damages will result to landowners by the construction of this drain. I recommend a maintenance assessment of \$30.00 per lot, \$5.00 per acre for roadways, with a \$30.00 minimum. With this assessment the total annual assessment for this drain/this section will be \$18,71.30

I believe this proposed drain meets the requirements for Urban Drain Classification as set out in IC 36-9-27-67 to 69. Therefore, this drain shall be designated as an Urban Drain.

I recommend that upon approval of the above proposed drain that the Board also approve the attached non-enforcement request. This request is for the reduction of the regulated drain easement to those easement widths as shown on the secondary plat for Huntersfield as recorded in the office of the Hamilton County Recorder.

I recommend the Board set a hearing for this proposed drain for January 1995.



Kenyon C. Ward
Hamilton County Surveyor
KCW/no

STANDBY LETTER OF CREDIT

Letter of Credit No: 44320

Date: July 29, 1994

BENEFICIARY

FOR ACCOUNT OF

HAMILTON COUNTY COMMISSIONER
Surveyor's Office
Suite 146, One Hamilton Square
Noblesville, IN 46060

BALAMORE DEVELOPMENT COMPANY, INC.
8155 Hunt Club Road
Zionsville, IN 46077

We hereby establish our Irrevocable Letter of Credit in your favor, for the account indicated above, for the sum or sums not exceeding an aggregate amount of USD124,000.00 (One Hundred Twenty Four Thousand U.S.Dollars.)

Funds are available by your draft(s) at sight drawn on National City Bank, Indiana Indianapolis, Indiana.

Drafts are to be accompanied by:

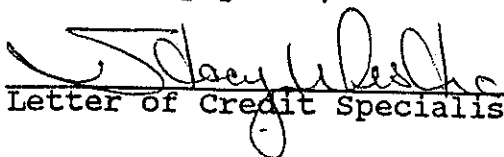
1. The original of this Letter of Credit No. 44320.
2. Beneficiary's signed certificate stating that "the BALAMORE DEVELOPMENT COMPANY, INC. has failed to perform the required improvements to the Hamilton County subdivision known as Huntersfield generally described to be all regulated portion(s) of the drainage system from engineers estimate."

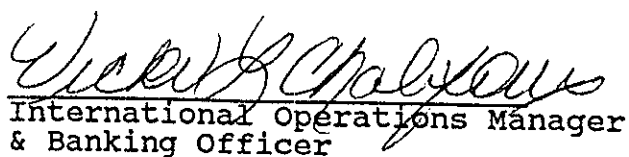
All drafts drawn under this Letter of Credit are to be endorsed hereon and shall bear the clause: "Drawn under National City Bank, Indiana Indianapolis, Indiana Letter of Credit No. 44320", and must be drawn and presented at this office on or before July 29, 1995.

We hereby agree with you that all drafts drawn under and in compliance with the terms of this Letter of Credit will be duly honored upon proper presentation.

Except as otherwise expressly stated herein, this credit is subject to the Uniform Customs and Practice for Documentary Credits (1993 Revision), International Chamber of Commerce, Publication No.500.

Very truly yours,


Letter of Credit Specialist I


International Operations Manager
& Banking Officer

CERTIFICATE OF COMPLETION AND COMPLIANCE

TO: HAMILTON COUNTY SURVEYOR

RE: HUNTERSFIELD

FILED

DEC 8 1994

OFFICE OF HAMILTON COUNTY SURVEYOR

I hereby certify that:

- 1.) I am a Registered Land Surveyor in the State of Indiana,
- 2.) I am familiar with the plans and specifications for the above referenced subdivision,
- 3.) I have personally observed and supervised the completion of the Drainage Facilities for the above referenced subdivision, and
- 4.) To the best of my knowledge, information and belief, the Drainage Facilities within the subdivision has been installed and completed in conformity with all plans and specifications.

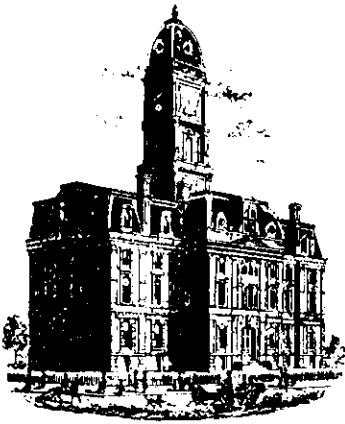
Signature: *Andrew H. Gerdon* Date: 12/6/94
 Type or Printed Name: ANDREW H. GERDON
 Business Address: FRP, Inc.
3307 W. 96th St. INDIANAPOLIS, IN 46268
 Telephone: 872-8400

INDIANA REGISTRATION NUMBER

880031

SEAL





SURVEYOR'S OFFICE
Hamilton County

Kenton C. Ward, Surveyor

Phone (317) 776-8495

Fax (317) 776-9628

Suite 146

One Hamilton County Square

Noblesville, Indiana 46060-2230

To: Hamilton County Drainage Board

January 15, 1998

Re: **Shelborne Green Drain: Huntersfield
Sec. 1 Arm**

Attached are as-builts, certificate of completion & compliance, and other information for Huntersfield Sec. 1. An inspection of the drainage facilities for this section has been made and the facilities were found to be complete and acceptable.

During construction, changes were made to the drain which will alter the plans submitted with my report for this drain dated November 30, 1994. The changes are as follows:

- Str.157-158 12"RCP lengthened from 28' feet to 30' feet.
- Str.158-131 15"RCP shortened from 159' feet to 158' feet.
- Str.131-132 18"RCP shortened from 114' feet to 112' feet.
- Str.131-130 12"RCP lengthened from 28' feet to 30' feet.
- Str.156-139 12"RCP lengthened from 105' feet to 106' feet.
- Str.140-139 30"RCP shortened from 176' feet to 173' feet.
- Str.136-137 24"RCP shortened from 295' feet to 289' feet.
- Str.149-148 24"RCP shortened from 140' feet to 137' feet.
- Str.148-153 18"RCP shortened from 32' feet to 30' feet.
- Str.153-152 15"RCP lengthened from 90' feet to 93' feet.
- Str.152-151 12"RCP shortened from 44' feet to 43' feet.
- Str.151-150 12"RCP shortened from 207' feet to 202' feet.
- Str.146-145 24"RCP lengthened from 113' feet to 115' feet.
- Str.142-141 12"RCP shortened from 222' feet to 219' feet.
- Str.124-123 15"RCP lengthened from 159' feet to 167' feet.
- Str.128-127 12"RCP shortened from 25' feet to 23' feet.
- Str.129-128 15"RCP shortened from 298' feet to 295' feet.
- Str.128-126 12"RCP shortened from 440' feet to 439' feet.
- Str.126-125 12"RCP shortened from 74' feet to 73' feet.

Str.120-119 30"RCP shortened from 158' feet to 152' feet.
Str.119-118 12"RCP lengthened from 95' feet to 97' feet.
Str.119-116 30"RCP shortened from 358' feet to 355' feet.
Str.116-115 18"RCP lengthened from 139' feet to 141' feet.
Str.115-114 18"RCP lengthened from 116' feet to 121' feet.
Str.104-103 30"RCP shortened from 144' feet to 132' feet.
Str.103-102 24"RCP lengthened from 111' feet to 112' feet.
Str.102-101 24"RCP shortened from 136' feet to 134' feet.
Str.106-105 15"RCP lengthened from 90' feet to 93' feet.
Str.105-103 18"RCP lengthened from 165' feet to 167' feet.
Str.116-110 24"RCP lengthened from 28' feet to 30' feet.
Str.110-109 18"RCP shortened from 172' feet to 161' feet.
Str.108-107 12"RCP lengthened from 20' feet to 23' feet.
Str.104-709 36"RCP lengthened from 145' feet to 149' feet.
Str.709-710 36"RCP lengthened from 170' feet to 189' feet.
Str.710-703 36"RCP shortened from 203' feet to 64' feet.
Str.703-702 36"RCP lengthened from 160' feet to 197' feet. 7148
The corrected total of 6"SSD is 4,750' feet. 11893

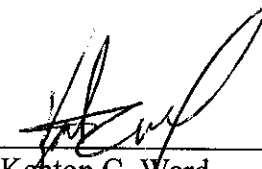
The length of the drain due to the changes described above is now **11,882 feet**.

The non-enforcement was approved by the Board at its meeting on January 23, 1995 and recorded under instrument #9505916.

The bond or letter of credit from National City Bank, number 44320; dated July 29, 1994; in the amount of \$124,000.00; has been recommended for release in a letter to the Commissioners dated December 9, 1994.

I recommend the Board approve the drains construction as complete and acceptable.

Sincerely,



Kenton C. Ward,
Hamilton County Surveyor

KCW/slm

HUNTERSFIELD

(STORM SEWER AS-BUILT DRAWINGS)

CLAY TOWNSHIP

HAMILTON COUNTY, INDIANA

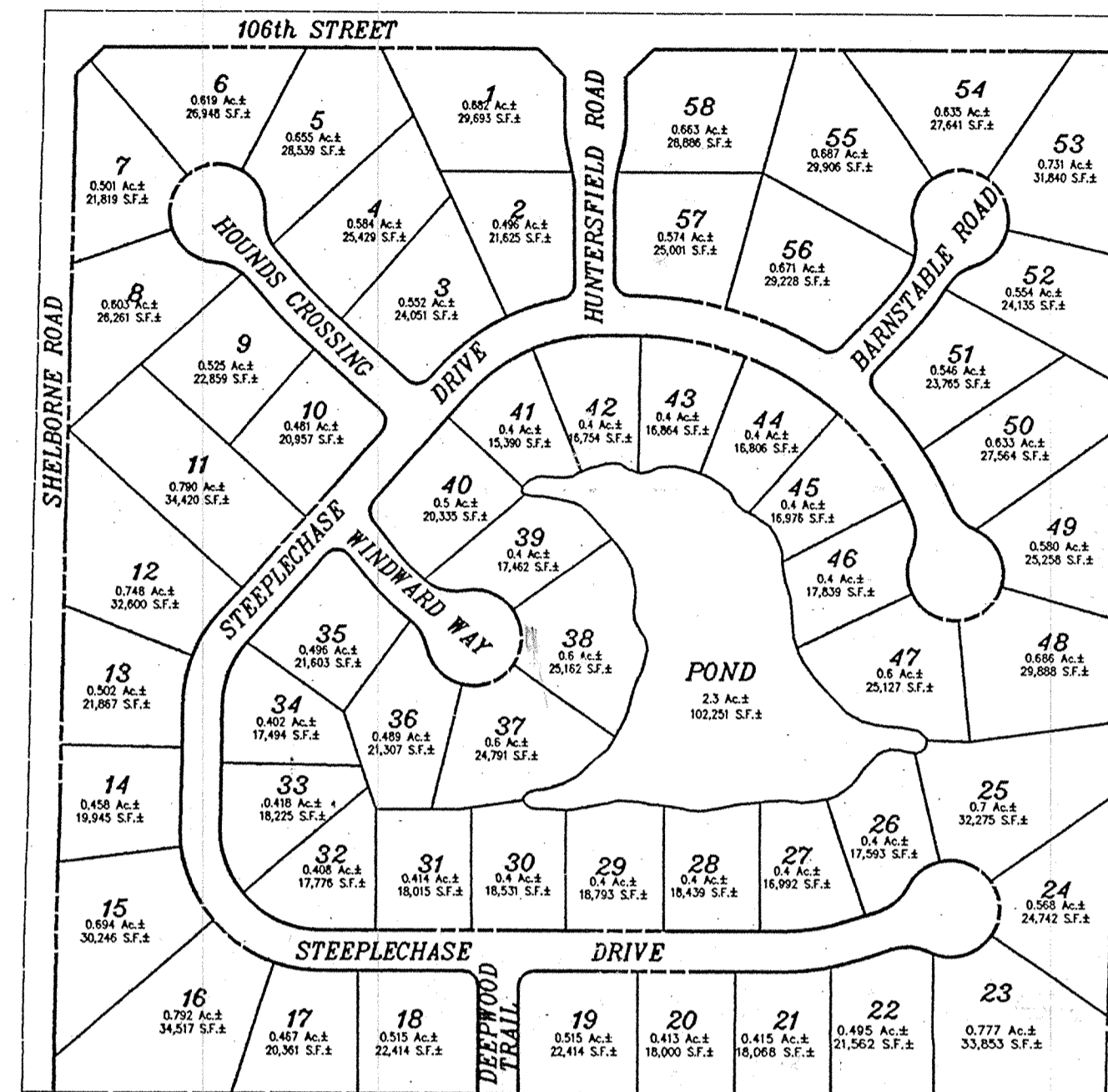
SUBMITTED 11-23-93

DEVELOPER:

BALAMOR DEVELOPMENT COMPANY, INC.
 8155 HUNT CLUB ROAD
 ZIONSVILLE, IN 46077
 (317) 873-5956

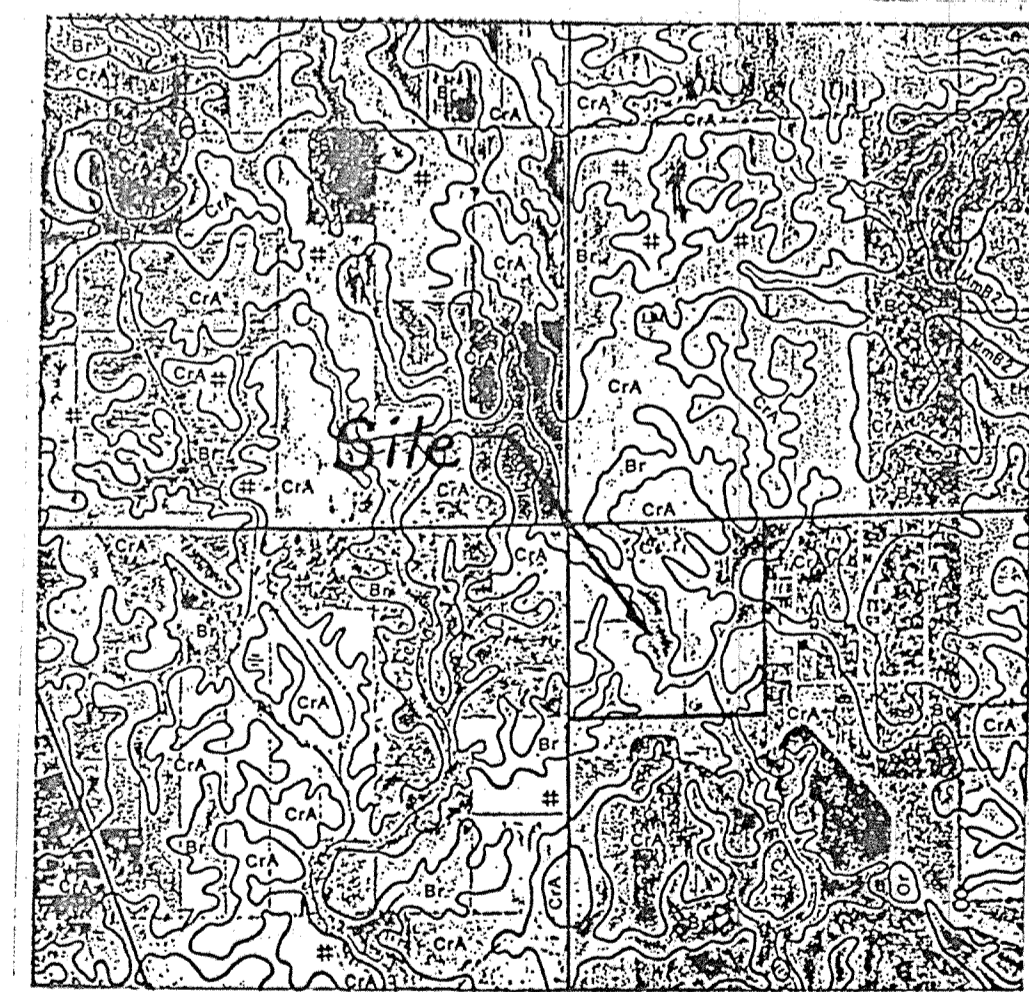
ENGINEER:

FINK, ROBERTS, & PETRIE INC.
 3307 W. 96th STREET
 INDIANAPOLIS, IN 46268
 (317) 872-8400

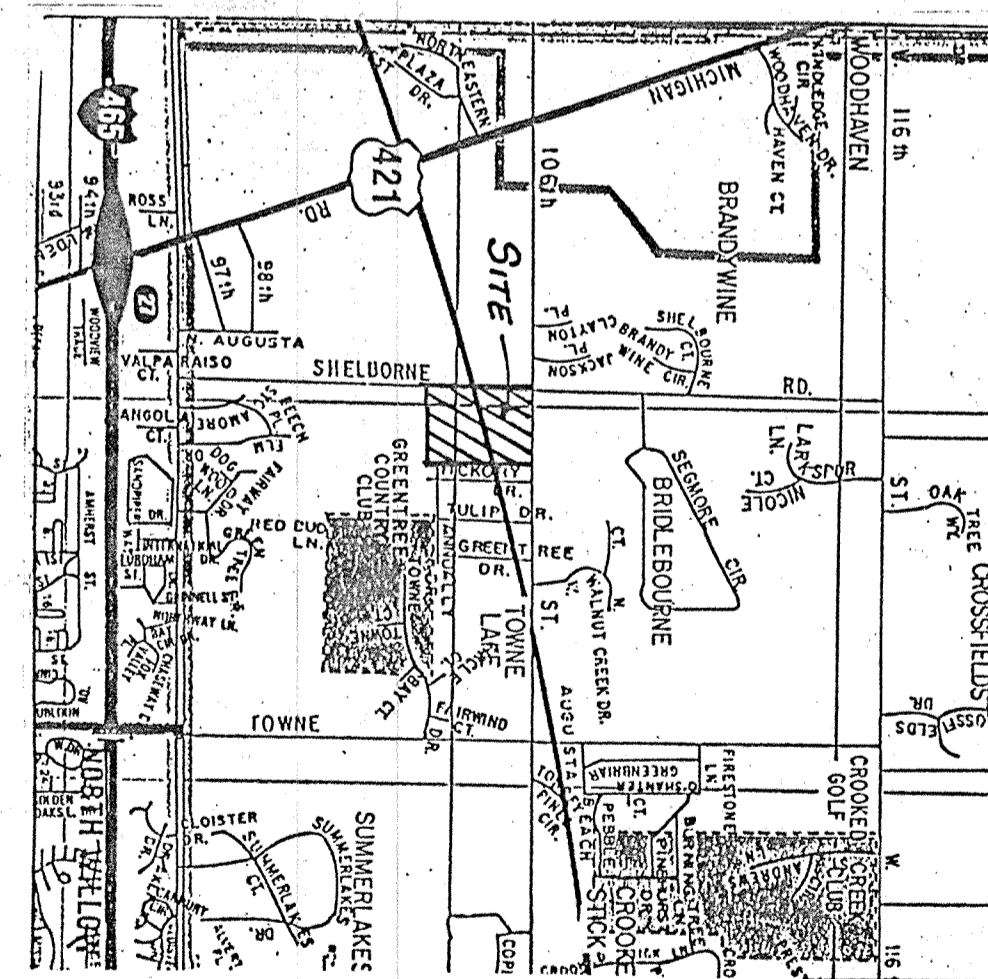


SITE MAP

SCALE: 1" = 200'



SOILS MAP



AREA MAP

AS-BUILT PLAN CERTIFICATION

I do hereby certify that the following As-built information and plans were prepared under my supervision and to the best of my knowledge and belief accurately represent the As-Built Storm Sewer information for Huntersfield Subdivision, Hamilton County, Indiana as surveyed in November of 1994.

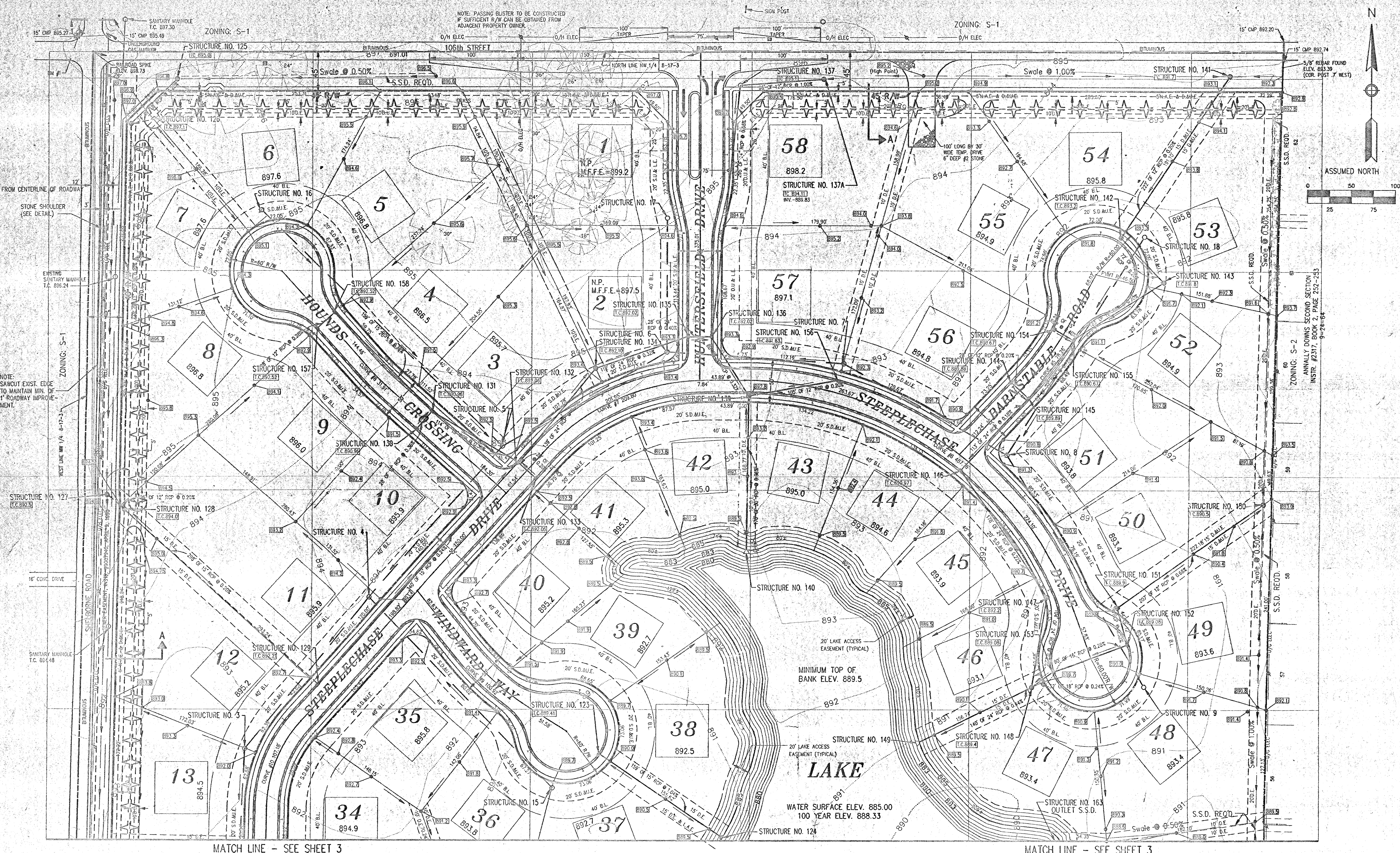
Certified this 25th day of Nov., 1994

Andrew H. Gardom
 Andrew H. Gardom
 Reg. Land Surveyor, #880031
 State of Indiana

FINK ROBERTS & PETRIE, INC.
 Engineers • Architects • Surveyors
 Geologists • Environmental Managers
 West 96th Street
 Indianapolis, Indiana 46268



INDEX		
SHEET NO.	DESCRIPTION	LAST REVISION
1	TITLE SHEET	11-22-93
2	DEVELOPMENT PLANS	11-22-93
3	DEVELOPMENT PLANS	11-22-93
4	EROSION CONTROL PLANS	11-22-93
5	EROSION CONTROL PLANS	11-22-93
6	STREET PLANS	11-22-93
7	STREET PLANS	11-22-93
8	STREET PLANS	11-22-93
9	STREET PLANS	11-22-93
10	STREET PLANS	11-22-93
11	STREET PLANS	11-22-93
12	ENTRANCE DETAIL	11-22-93
13	INTERSECTION DETAILS	11-22-93
14	CUL DE SAC DETAILS	11-22-93
15	STREET DETAILS	11-22-93
16	STREET DETAILS	11-22-93
17	SANITARY SEWER PLANS	11-22-93
18	SANITARY SEWER PLANS	11-22-93
19	SANITARY SEWER PLANS	11-22-93
20	SANITARY SEWER PLANS	11-22-93
21	SANITARY SEWER PLANS	11-22-93
22	SANITARY SEWER PLANS	11-22-93
23	SANITARY DETAILS	11-22-93
24	STORM SEWER PLANS	11-22-93
25	STORM SEWER PLANS	11-22-93
26	STORM SEWER PLANS	11-22-93
27	STORM SEWER PLANS	11-22-93
28	STORM SEWER PLANS	11-22-93
29	STORM SEWER PLANS	11-22-93
30	GENERAL DETAILS	11-22-93
31	LANDSCAPE PLAN	11-22-93



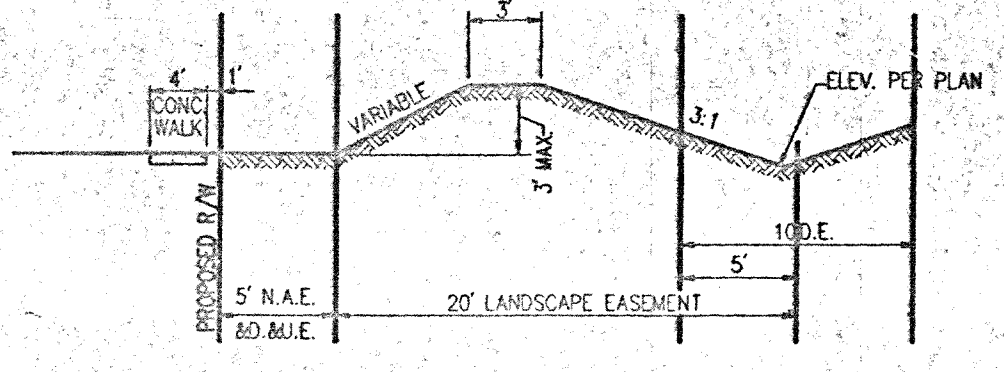
MATCH LINE - SEE SHEET 3

MATCH LINE - SEE SHEET 3

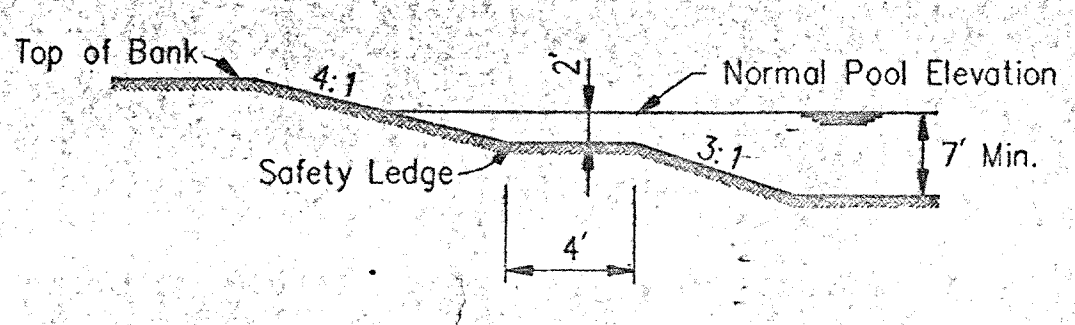
GENERAL NOTES:
 1. See recorded plat for bearings, dimensions and easements.
 2. Water Service provided by Indianapolis Water Company.

LEGEND

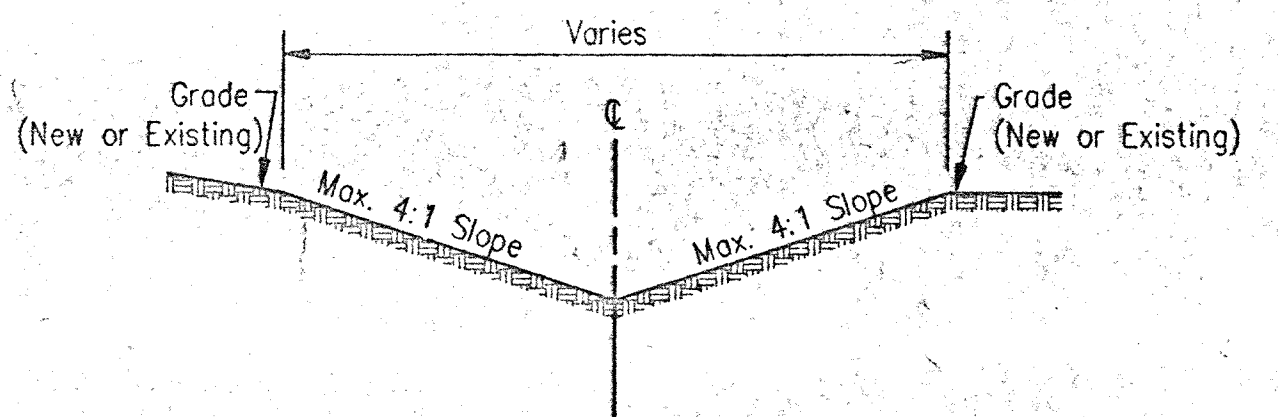
- N.P. No pad to be constructed by site contractor, at these locations.
- M.F.F.E. Suggested minimum finish floor elevation.
- Storm Seyer
- Sanitary Sewer
- - - Subsurface Drain (S.S.D.) w/4" Lateral Connection



CROSS SECTION "A"
NTS

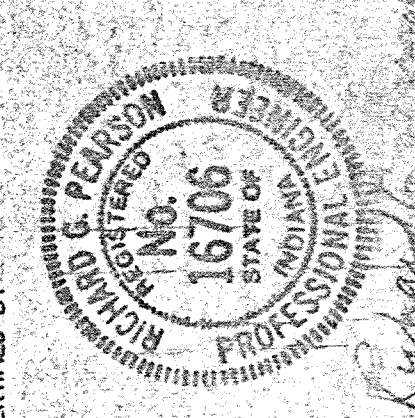


TYPICAL POND SECTION
NTS



TYPICAL SWALE SECTION
NTS

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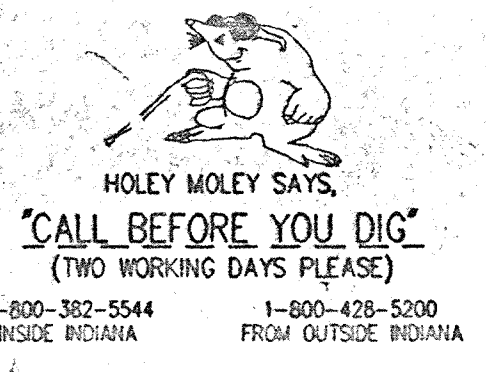
FINK ROBERTS & RETIRE, INC.
 Engineers & Architects & Surveyors
 Geologists & Environmental Managers
 Indianapolis, Indiana 46269

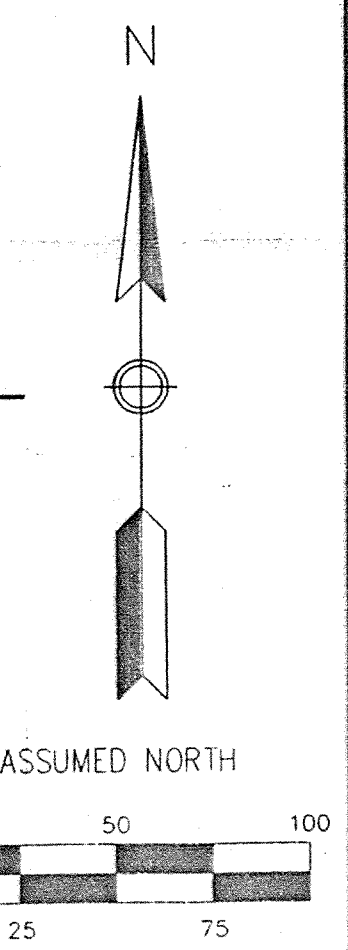
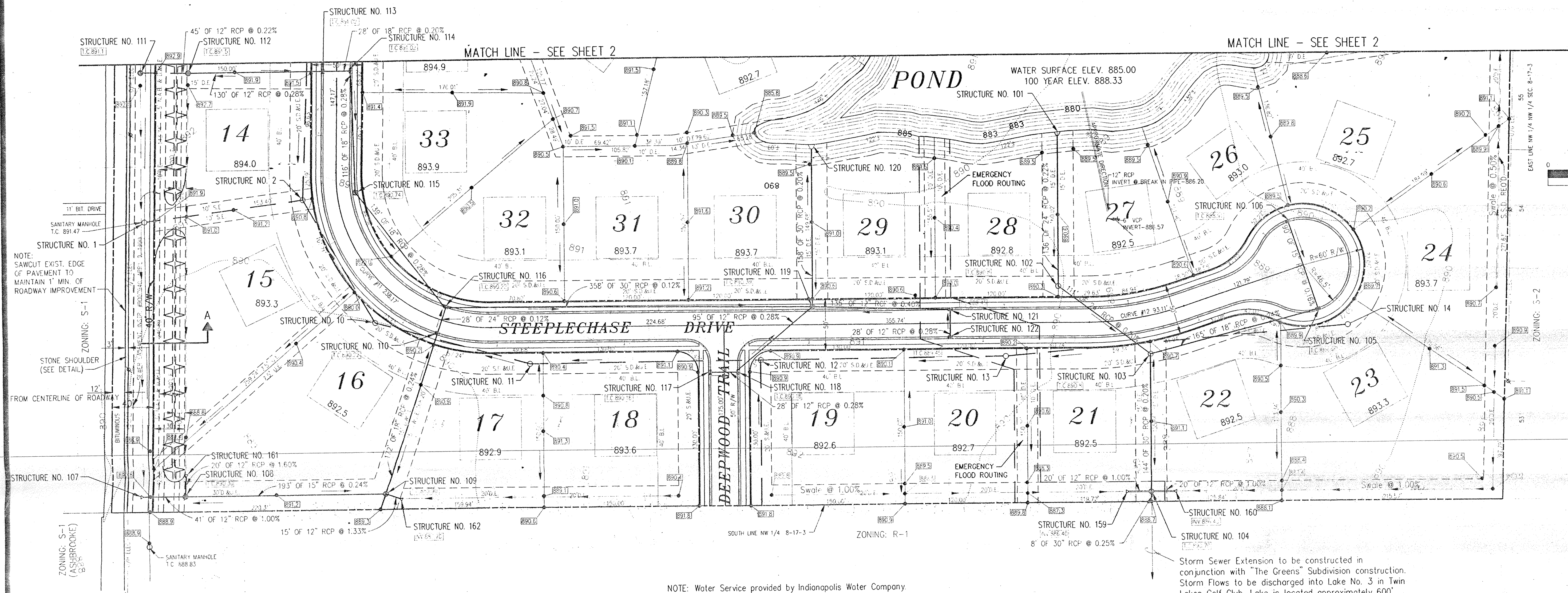
OWNER/DEVELOPER
BALAMOR DEVELOPMENT CO. INC.
 8155 HUNT CLUB ROAD
 ZIONSVILLE, IN 46077
 (317) 873-5956

REVISION DATE	REVISION DESCRIPTION
2/14/94	EASEMENT DESIGNATIONS ADDED SWALE SECTION REV. POND CONTOURS
8/5/04	REVISED EASEMENTS PER PLAT REVISED SWALE NEAR LOTS 12 3, 4, & 5 AND SWALE ALONG 108th ST. T.C. STR #125
10/15/94	REVISED STRUCTURE #137 & ADDED STRUCTURE #137A

DESIGN DATE	DESIGN USER	DESIGN PROJECT NO.	DESIGN DRAWN BY	DESIGN CHECKED BY	CREATED BY	REVISION DATE
8/19/93	SRV	93131	RCS	RCS	RCS	
12/10/93	SRV	93131	RCS	RCS	RCS	

**HUNTERSFIELD
 DEVELOPMENT PLAN**

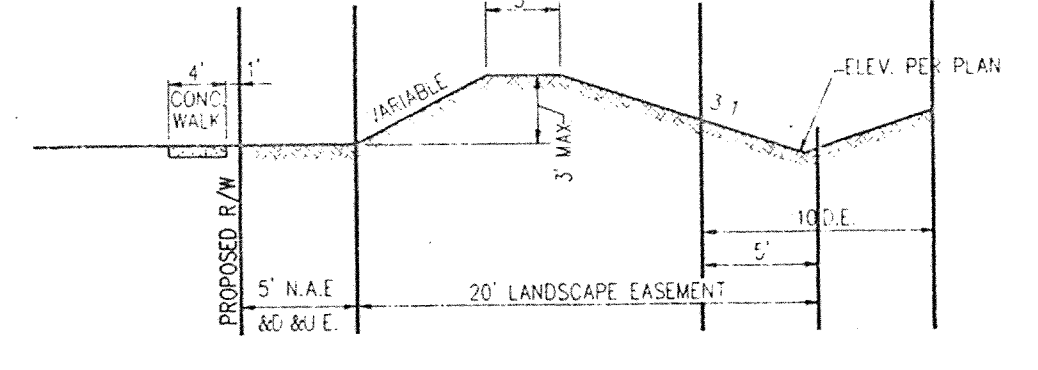




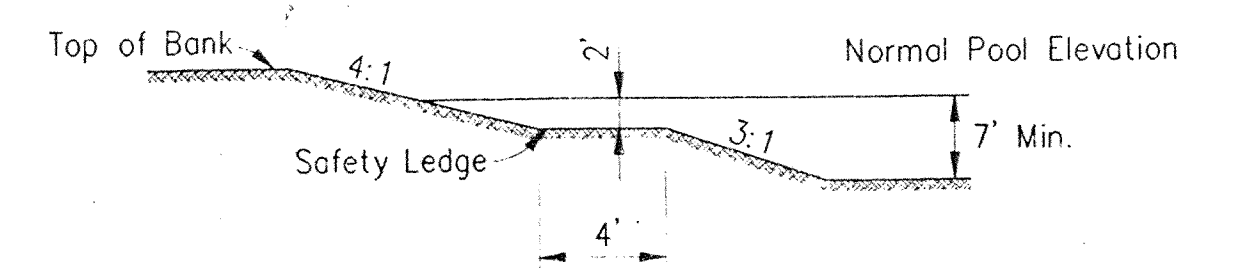
NOTE: SAWCUT EXIST. EDGE OF PAVEMENT TO MAINTAIN 1" MIN. OF ROADWAY IMPROVEMENT

NOTE: Water Service provided by Indianapolis Water Company.

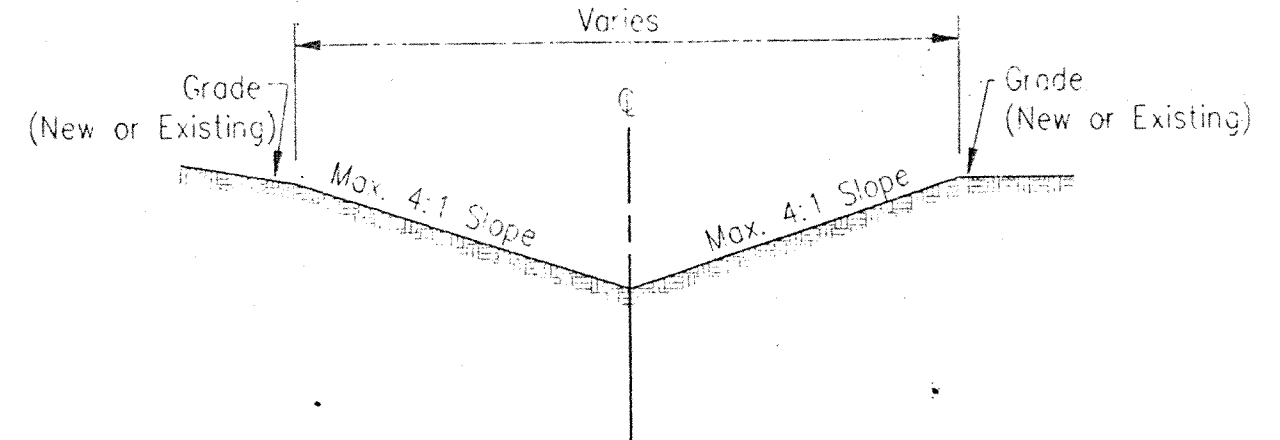
Storm Sewer Extension to be constructed in conjunction with "The Greens" Subdivision construction. Storm Flows to be discharged into Lake No. 3 in Twin Lakes Golf Club. Lake is located approximately 600' South of Structure No. 104. Discharge Invert Elevation Estimated at 883.00.



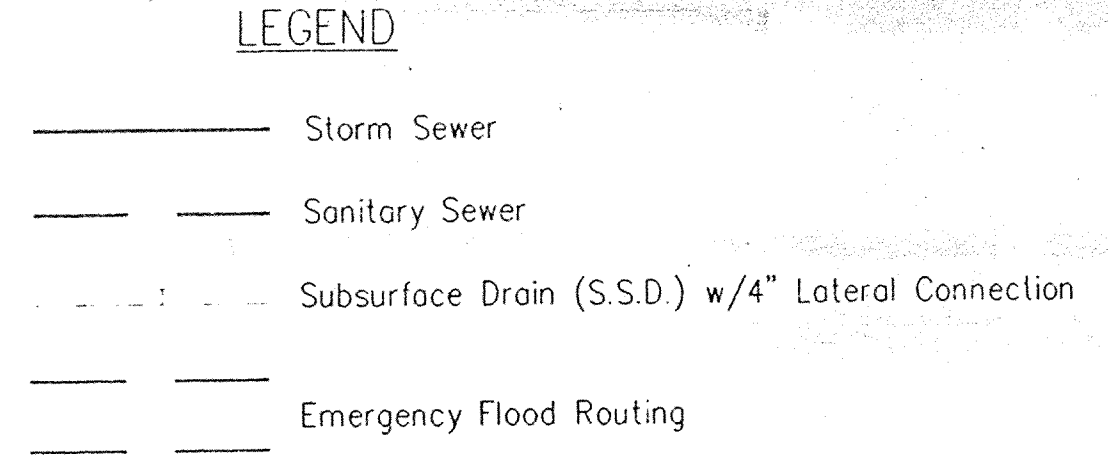
CROSS SECTION "A" NTS



TYPICAL POND SECTION NTS



TYPICAL SWALE SECTION NTS

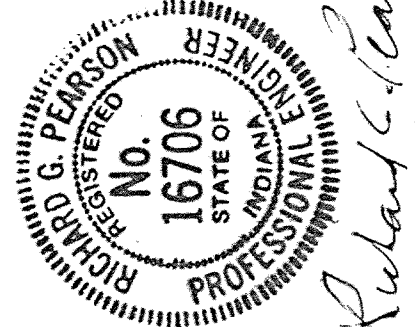


GENERAL NOTES

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING OR VERIFYING THAT ALL PERMITS AND APPROVALS ARE OBTAINED FROM THE RESPECTIVE CITY, COUNTY, AND STATE AGENCIES PRIOR TO STARTING CONSTRUCTION.
2. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES IN THE VICINITY OF THE CONSTRUCTION AREA PRIOR TO STARTING CONSTRUCTION.
3. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY FOR NOTIFICATION AND COORDINATION OF ALL CONSTRUCTION WITH RESPECTIVE UTILITY COMPANIES.
4. IT IS ESSENTIAL THAT THE WORK TO BE DONE IN CONJUNCTION WITH THIS PROJECT SHALL BE INSTALLED ACCORDING TO THESE PLANS AND SPECIFICATIONS. THE ENGINEER WILL BE REQUIRED TO CERTIFY PORTIONS OF THIS PROJECT UPON COMPLETION. THEREFORE, IT IS NECESSARY TO OBTAIN APPROVAL AND ACCEPTANCE BY THE CITY THAT CONSTRUCTION WAS DONE IN COMPLIANCE WITH THESE PLANS AND SPECIFICATIONS.
5. IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER AND CONTRACTOR TO MAINTAIN QUALITY CONTROL THROUGHOUT THE PROJECT. FAILURE TO DO SO MAY RESULT IN REMOVAL AND REPLACEMENT OF THE DEFECTIVE WORK. IT IS RECOMMENDED THAT THE DEVELOPER HAVE A QUALIFIED INSPECTOR ON THE JOB SITE AT ALL TIMES DURING CONSTRUCTION.
6. OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) STANDARDS FOR EXCAVATIONS, FINAL RULE 29 CFR PART 1926, SUBPART 12 APPLIES TO ALL EXCAVATIONS EXCEEDING FIVE (5) FEET IN DEPTH. IN ADDITION, EXCAVATIONS EXCEEDING TWENTY (20) FEET IN DEPTH REQUIRE THE DESIGN OF A TRENCH SAFETY SYSTEM BY A REGISTERED PROFESSIONAL ENGINEER.
7. STANDARD SPECIFICATIONS FOR CLAY TOWNSHIP REGIONAL WASTE DISTRICT SHALL APPLY FOR ALL SANITARY SEWERS.
8. TEMPORARY TRAFFIC CONTROL DURING CONSTRUCTION TO CONFORM TO APPLICABLE LOCAL AND STATE STANDARDS.

GRADING NOTES

1. ELEVATIONS NOTED AT CENTERLINE OF STREET ARE TOP OF CURB ELEVATIONS AT THAT RESPECTIVE STATION.
2. SEE STREET PLAN & PROFILE SHEET FOR ADDITIONAL GRADES ON STREET AREAS.
3. IT IS THE INTENT OF THESE PLANS TO USE ALL EXCESS FILL MATERIAL ON-SITE. BORROW PITS IN NONCONSTRUCTED FILL AREAS MAY BE UTILIZED TO OBTAIN SUITABLE FILL MATERIAL AND WASTE TOPSOIL.
4. BUILDING PAD AREAS DESIGNATED FOR FILL FOR FUTURE BUILDINGS SHALL BE CONSTRUCTED OF SUITABLE FILL MATERIAL AND COMPACTED PER SPECIFICATIONS. ALL FILL AREAS FOR BUILDING AREAS ARE TO BE STRIPED OF TOPSOIL PRIOR TO PLACEMENT OF FILL.
5. CONTRACTOR SHALL PRESERVE EXISTING TREES WHEREVER POSSIBLE. OWNER AND OWNER'S REPRESENTATIVE SHALL BE CONSULTED FOR CLEARING LIMITS. CLEARING LIMITS SHALL CONSIST OF ALL TREES WITHIN STREET AREAS. CLEARED TREES MAY BE BURIED ON-SITE AT THE DIRECTION OF THE OWNER'S REPRESENTATIVE.
6. ALL TOPSOIL SHALL BE PLACED IN MOUNDING AREAS AND NONSTRUCTURAL FILL AREAS. UPON COMPLETION OF MASS EARTHWORK, TOPSOIL SHALL BE SPREAD TO A DEPTH OF 4 TO 6 INCHES IN AREAS TO BE SEEDED, SUCH AS LAKE SLOPE, MOUND AREAS, AREAS BETWEEN CURB AND CLEARING LIMITS, AND ALL DISTURBED AREAS OUTSIDE OF BUILDING AND PARKING AREAS.
7. EARTHWORK BALANCE - THE CONTRACTOR SHALL CONFIRM ALL EARTHWORK QUANTITIES PRIOR TO START OF CONSTRUCTION. IF AN EXCESS OR SHORTAGE OF EARTH IS ENCOUNTERED, THE CONTRACTOR SHALL CONFIRM WITH THE OWNER AND ENGINEER THE REQUIREMENTS FOR STOCKPILING, REMOVAL OR IMPORTING OF EARTH. MINOR ADJUSTMENTS TO THE GRADES MAY BE REQUIRED TO OBTAIN EARTHWORK BALANCES WHEN MINOR EXCESS MATERIAL OR SHORTAGES ARE ENCOUNTERED. IT IS RECOGNIZED BY THE PARTIES HERETO THAT THE CALCULATIONS OF THE ENGINEER IN DETERMINING EARTHWORK QUANTITIES SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THE AMERICAN SOCIETY OF CIVIL ENGINEERS STANDARDS FOR SUCH CALCULATIONS. FURTHER, THAT THESE CALCULATIONS ARE SUBJECT TO THE INTERPRETATIONS OF SOIL BORINGS AS THE PHYSICAL LIMITS OF THE VARIOUS SOIL TYPES, AND THAT ALL OF THESE PARAMETERS FINISH GRADE AND COMPACTION PERMITTED THE CONTRACTOR, AND THAT ALL OF THESE PARAMETERS MAY CAUSE EITHER AN EXCESS OR SHORTAGE OF ACTUAL EARTHWORK MATERIALS TO COMPLETE THE PROJECT. IF SUCH AN ACTUAL MINOR EXCESS OR SHORTAGE OF MATERIALS OCCURS, THE CONTRACTOR SHALL CONTACT THE ENGINEER TO DETERMINE IF ADJUSTMENTS CAN BE MADE TO CORRECT THE IMBALANCE OF EARTH.
8. SPOT ELEVATIONS - IF, DURING THE CONSTRUCTION OR SURVEY LAYOUT PROCESS, IT IS DETERMINED THAT THERE ARE INSUFFICIENT SPOT ELEVATIONS TO PROPERLY CONSTRUCT THE PROJECT, OR THE DESIGN GRADES APPEAR TO BE TOO SLOPE OR FLAT FOR ON-SITE CONDITIONS, THE CONTRACTOR SHALL CONTACT THE ENGINEER TO ADJUST OR ADD ADDITIONAL ELEVATIONS AS REQUIRED.



FINK ROBERTS & PETRIE, INC.
Engineers & Architects & Surveyors
Geologists & Environmental Managers
3307 West 96th Street
Indianapolis, Indiana 46226

OWNER/DEVELOPER
BALAMOR DEVELOPMENT CO. INC.
8155 HUNT CLUB ROAD
ZIONSVILLE, IN 46077
(317) 873-6956

REVISION DATE	REVISION DESCRIPTION
2/14/94	STRUCTURES 107 & 161 EASEMENTS AND SHALE SECT REV - POND CONTOURS
3/2/94	CHANGED 38"x24" HI RCP TO 36" RCP
6/10/94	STRUCTURES 103 & 116 I.C. STRUCTURES 108 & 109 T.C.
6/27/94	REVISED EASEMENTS PER PLAN

DESIGN DATE	DESIGN DESCRIPTION
8/19/93	DESIGN PROJECT NO.
9/3/93	DESIGN DRAWN BY
	DESIGN CHECKED BY
	DESIGNED BY
	FORWARDED BY
	FOR P.P.
	FOR R.P.

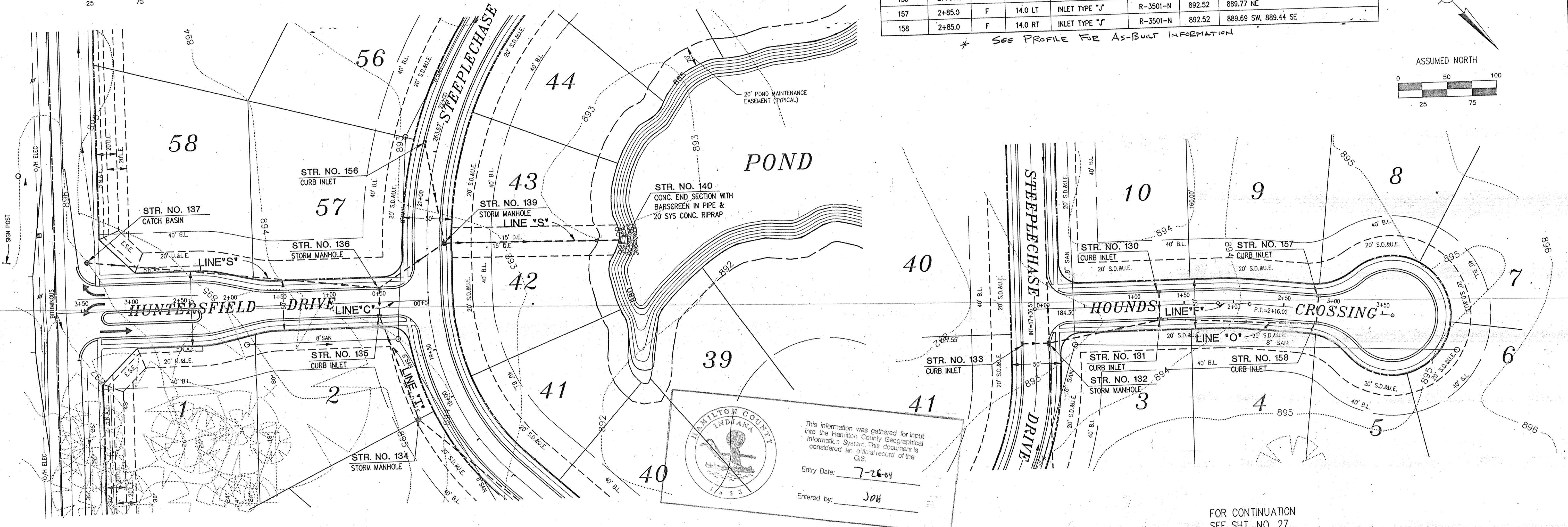
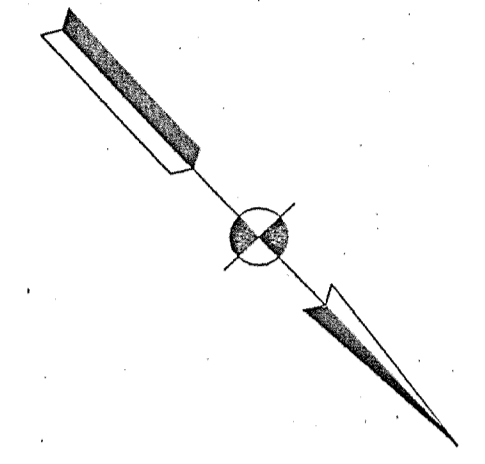
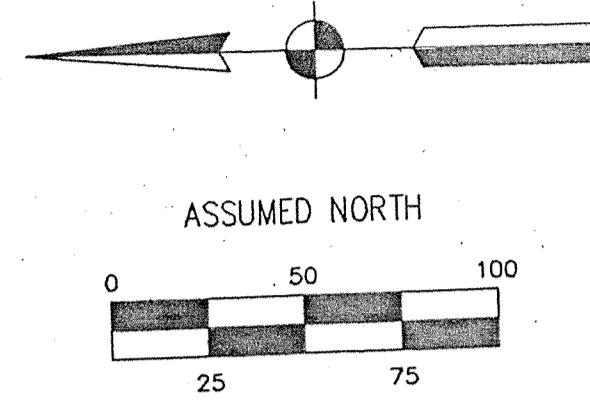
HUNTERSFIELD DEVELOPMENT PLAN

LEGEND

- S = STORM DRAINAGE
- 5 = LOT NUMBER
- = SANITARY SEWER MANHOLE WITH FLOW DIRECTION
- ▨ = GRANULAR BACKFILL
- SC = SERVICE CONNECTION

STR. NO.	STATION	BASE LINE	OFFSET LT/RT	STRUCTURE TYPE	CASTING TYPE	T.C. ELEV.	INVERTS
130	1+25.0	F	14.0 LT	INLET TYPE "J"	R-3501-N	890.96	888.21 SE
131	1+25.0	F	14.0 RT	INLET TYPE "J"	R-3501-N	890.96	881.10 SW, 888.86 NW, 887.70 SE
132	17+71.2	A	14.0 LT	MANHOLE TYPE "A"	R-3501-N	892.06	887.30 NW, 889.25 SE, 887.34 SW, 886.89 NE
133	17+71.2	A	14.0 RT	INLET TYPE "J"	R-3501-N	892.06	889.31 NW
136	0+50.0	C	14.0 RT	MANHOLE TYPE "D"	R-3501-N	892.02	887.92 N, 885.79 W, 885.39 SE
137	3+43.0	C	49.5 RT	CATCH BASIN TYPE "E"	R-4342	893.00	890.00 S
139	20+56.6	A	17.5 RT	MANHOLE TYPE "D"	R-1714	892.72	888.87 NE, 885.10 NW, 885.00 S
140	20+56.6	A	193.8 RT	CONC. END SECTION	-	-	884.37
156	21+57.0	A	14.0 RT	INLET TYPE "J"	R-3501-N	891.83	889.08 SW
157	2+85.0	F	14.0 LT	INLET TYPE "J"	R-3501-N	892.52	889.77 NE
158	2+85.0	F	14.0 RT	INLET TYPE "J"	R-3501-N	892.52	889.69 SW, 889.44 SE

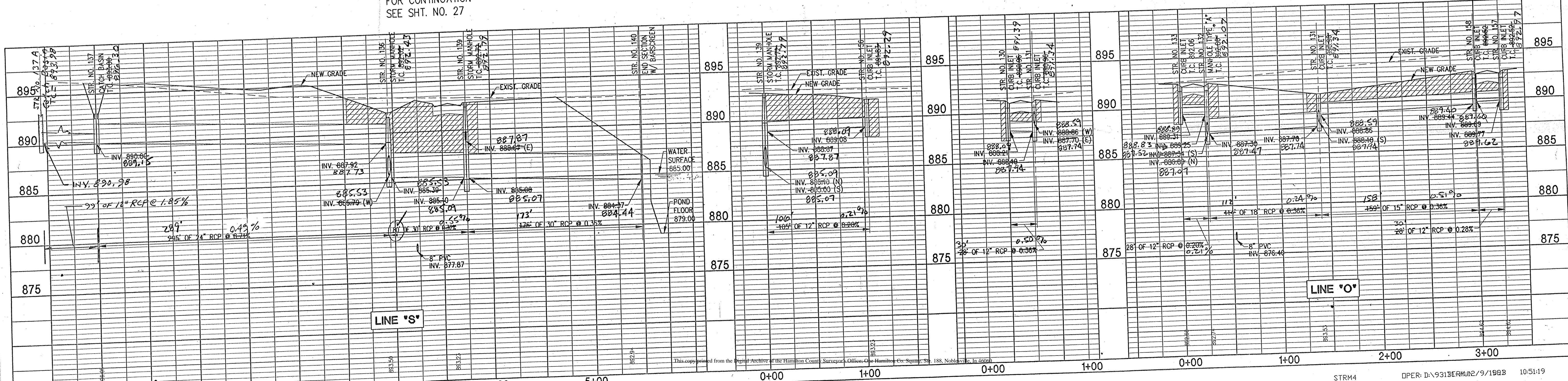
* SEE PROFILE FOR AS-BUILT INFORMATION



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 Entry Date: 7-26-04
 Entered by: JAH

FOR CONTINUATION SEE SHT. NO. 27

FOR CONTINUATION SEE SHT. NO. 27



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FINN ROBERTS & PETRIE, INC.
 Engineers • Architects • Surveyors
 Geologists • Environmental Managers
 3307 West 96th
 Indianapolis, Indiana 46226

OWNER/DEVELOPER
BALAMOR DEVELOPMENT CO. INC.
 8155 HUNT CLUB ROAD
 ZIONSVILLE, IN 46077
 (317) 873-5956

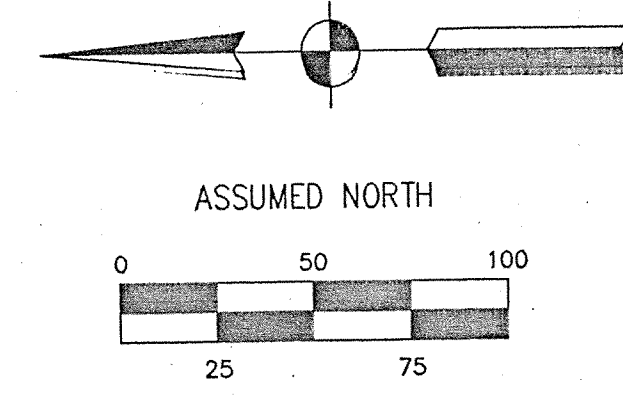
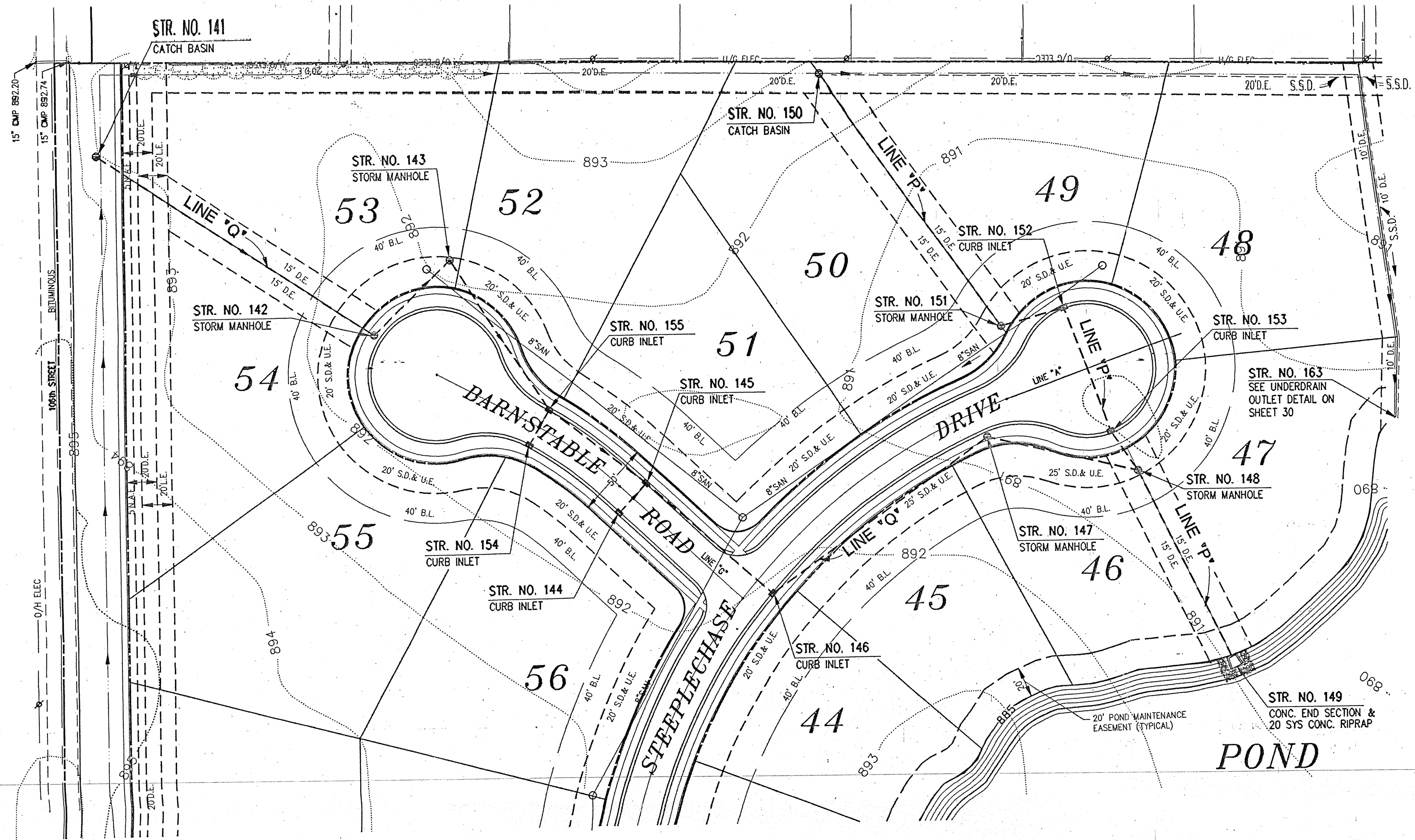
REVISION DATE REVISION DESCRIPTION

REVISION DATE	REVISION DESCRIPTION
2/2/94	REV. CASTING TYPES
5/12/94	REV. STR. NO. 136
6/15/94	REV. STR. NO. 132

DESIGN DATE	DESIGN DATE	DESIGN DATE
8/7/83	12/10/83	12/10/83
9/31/83	9/31/83	9/31/83
9/31/83	9/31/83	9/31/83

HUNTERSFIELD
 STORM SEWERS
 LINE "O" & "S"

SHEET NO.



- LEGEND**
- = STORM DRAINAGE
 - 5 = LOT NUMBER
 - = SANITARY SEWER MANHOLE WITH FLOW DIRECTION
 - ▨ = GRANULAR BACKFILL
 - SC— = SERVICE CONNECTION

STORM SEWER TABLE *

STR. NO.	STATION	BASE LINE	OFFSET LT/RT	STRUCTURE TYPE	CASTING TYPE	-T.C. ELEV.	INVERTS
141	23+05.8	A	529.1' LT.	CATCH BASIN TYPE E	R-4342	891.70	888.62 SW
142	23+11.5	A	307.4' LT.	MANHOLE TYPE A	R-1714	893.20	888.18 NE, 888.08 SE
143	23+52	A	299.4' LT.	MANHOLE TYPE A	R-1714	891.80	887.94 NW, 887.84 SE
144	1+00	G	13.5' RT.	INLET TYPE J	R-3501-N	889.89	886.85 E
145	1+00	G	13.5' RT.	INLET TYPE F	R-3501-N	889.89	886.79 W, 886.69 NE, 886.69 SW
146	23+31	A	13.5' RT.	INLET TYPE J	R-3501-N	890.97	886.49 NE, 886.39 SE
147	25+17.5	A	18.3' RT.	MANHOLE TYPE A	R-1714	892.20	886.00 SE, 885.90 S
148	26+05.4	A	76' RT.	MANHOLE TYPE A	R-1714	889.40	885.67 N, 886.02 E, 885.62 SW
149	26+19.6	A	215.6' RT.	CONC. END SECTION	-	-	885.00
150	25+00	A	249.7' LT.	CATCH BASIN TYPE E	R-4342	890.50	888.40
151	25+53.8	A	48.3' RT.	MANHOLE TYPE A	R-1714	890.30	886.99 NE, 886.89 S
152	25+97.3	A	45' LT.	INLET TYPE B	R-3287-11V	889.08	886.75 N, 886.55 SW
153	25+97.3	A	45' RT.	INLET TYPE B	R-3287-11V	889.08	886.30 NE, 886.10 SW
154	1+80	G	13.5' LT.	INLET TYPE J	R-3501-N	890.67	887.70 E
155	1+80	G	13.5' RT.	INLET TYPE F	R-3501-N	890.67	887.59 W, 887.59 N, 886.79 S
163	27+80	A	106.8' RT.	CONC. HEADWALL	-	-	885.00

* SEE PROFILE FOR AS-BUILT INFORMATION

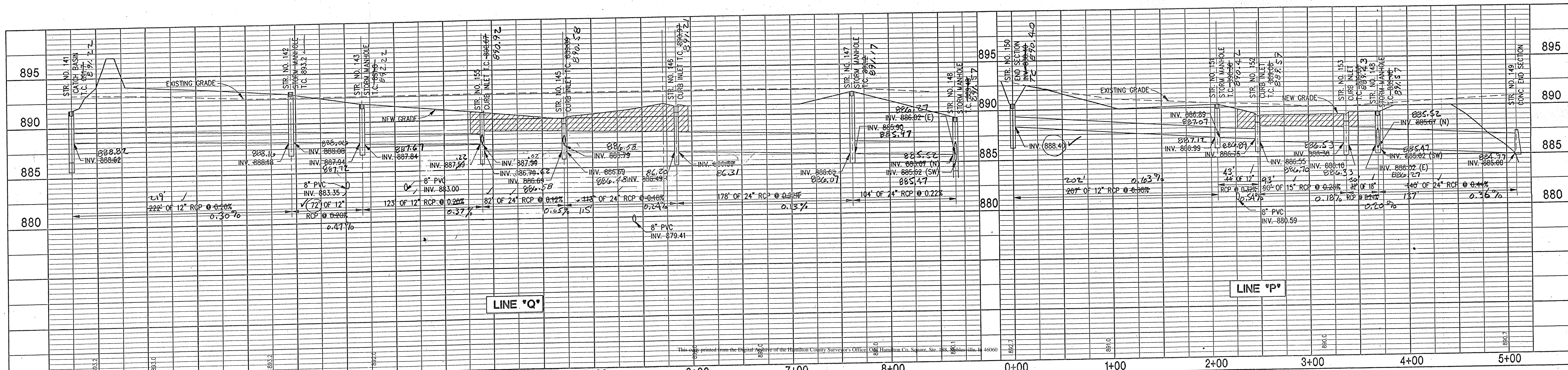
HAMILTON COUNTY INDIANA

This information was gathered for input into the Hamilton County Geographical Information System. This document is considered an official record of the GIS.

Entry Date: 7-26-04

Entered by: JDH

REVISION DATE	REVISION DESCRIPTION
2/14/04	REVISED PIPE GRADES AND CASTING TYPES



CERTIFIED BY

FINK ROBERTS & PETRIE, INC.
Engineers • Architects • Surveyors
3307 West 96th Street
Indianapolis, Indiana 46268

OWNER/DEVELOPER
BALAMOR DEVELOPMENT CO. INC.
8155 HUNT CLUB ROAD
ZIONSVILLE, IN 46077
(317) 873-5956

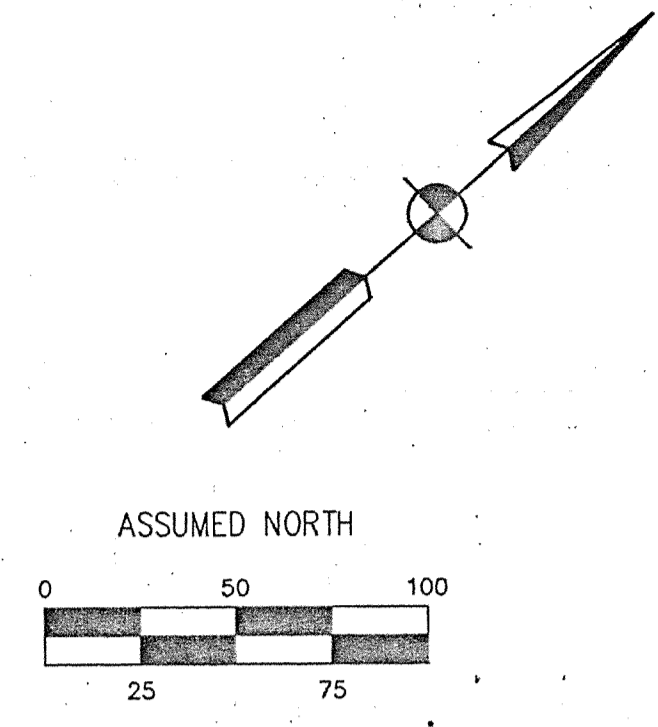
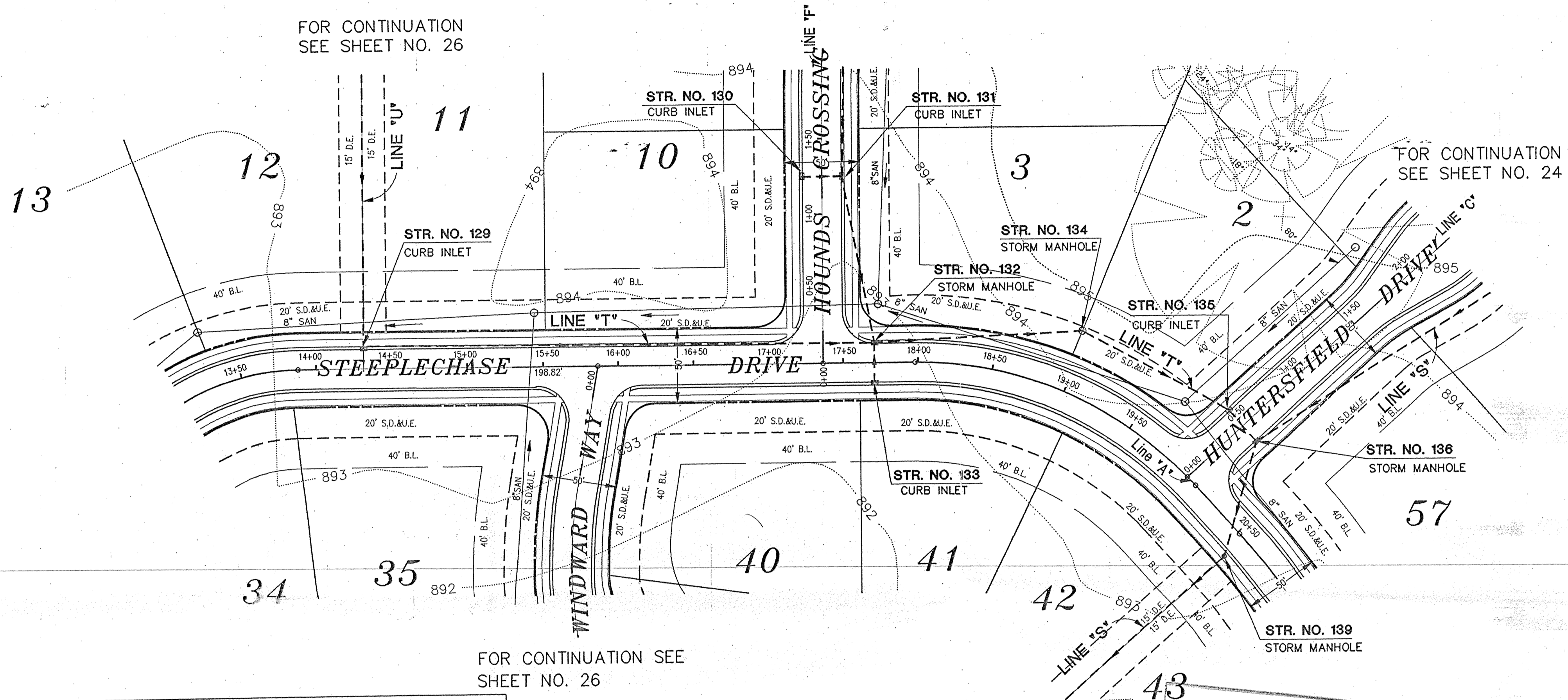
SHEET NO. **25** OF **31**

HUNTERSFIELD
STORM SEWERS
LINES "P" & "Q"

DESIGN DATE: 12/10/93
SURVEY DATE: 8/18/93
DESIGNER: JLS
CHECKER: JLS
DRAWN BY: JLS
DATE: 2/14/04

FOR CONTINUATION
SEE SHEET NO. 24

FOR CONTINUATION
SEE SHEET NO. 26



FOR CONTINUATION SEE
SHEET NO. 26

FOR CONTINUATION
SEE SHEET NO. 24

STORM SEWER TABLE *							
STR. NO.	STATION	BASE LINE	OFFSET LT/RT	STRUCTURE TYPE	CASTING TYPE	T.C. ELEV.	INVERTS
129	14+31.5	A	14.0' LT.	INLET TYPE "J"	R-3501-N	892.21	888.26 NW, 888.16 NE
132	17+70.8	A	14.0' LT.	MANHOLE TY. "A"	R-3501-N	892.06	887.34 SW, 886.89 NE, 887.30 NW, 889.25 SE
134	18+96.1	A	42.1' LT.	MANHOLE TY. "A"	R-2560-D2	892.10	886.61 SW, 886.51 E
135	19+89.9	A	50.6' LT.	INLET TYPE "J"	R-3501-N	892.02	886.15 W, 885.90 E
136	20+13.9	A	49.8' LT.	MANHOLE TY. "A"	R-3501-N	892.02	888.95 N, 885.79 W, 885.39 SE

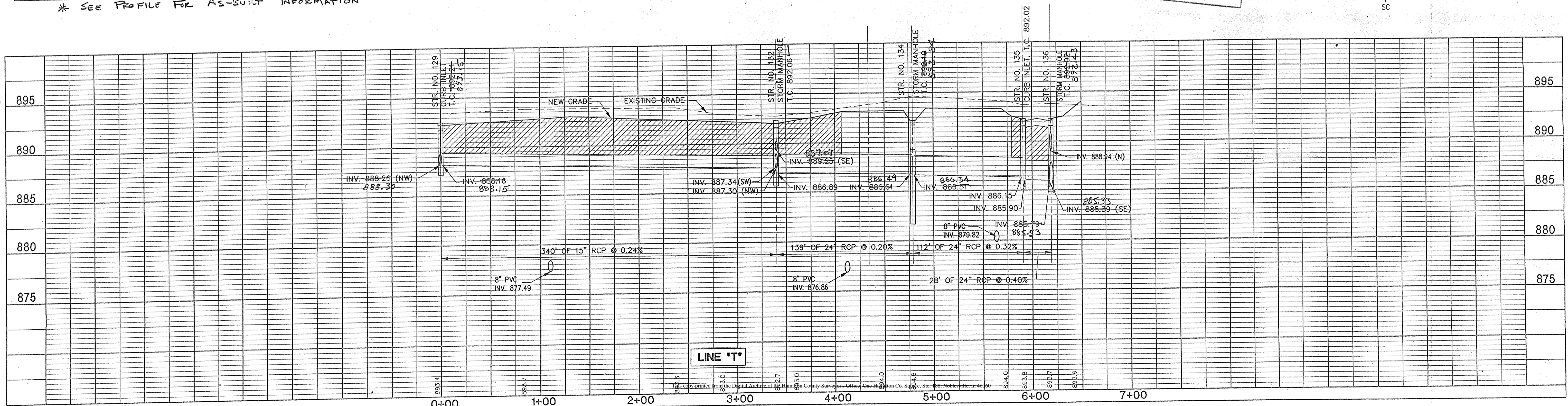
* SEE PROFILE FOR AS-BUILT INFORMATION

MILTON COUNTY INDIANA

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 Entry Date: 7-26-04
 Entered by: JDM

LEGEND

- = STORM DRAINAGE
- 5 = LOT NUMBER
- = SANITARY SEWER MANHOLE WITH FLOW DIRECTION
- ▨ = GRANULAR BACKFILL
- SC = SERVICE CONNECTION



SHEET NO. 27 OF 31

HUNTERSFIELD
STORM SEWERS
LINE "T"

REVISION DATE	REVISION DESCRIPTION
2/2/94	REV. EASEMENTS AND PIPE GRADES
6/15/94	REV. STR. NO. 132

DATE	BY	CHECKED BY	DATE	BY
8/18/03	LJA	DJB	12/10/03	LJA
9/3/03	LJA	CEB	9/3/03	LJA

CERTIFIED BY

 FINK ROBERTS & PETRIE, INC.
 Engineers • Architects • Surveyors
 One 307 West 96th Street
 Indianapolis, Indiana 46266

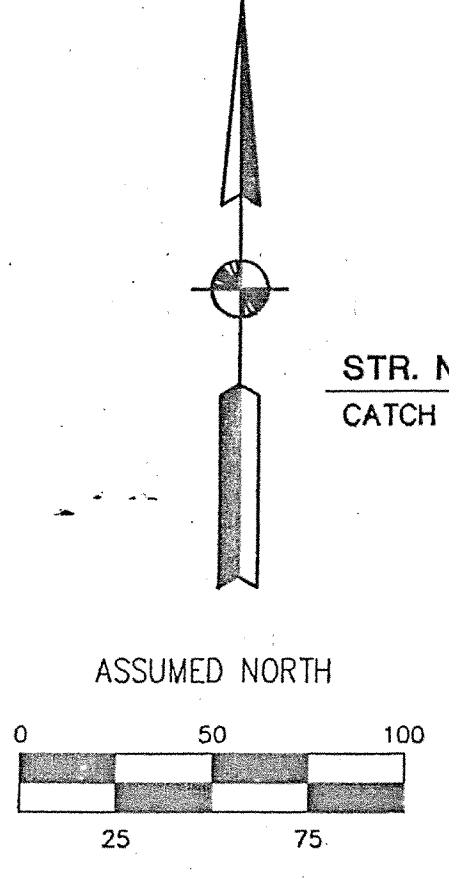
OWNER/DEVELOPER
 BALAMOR DEVELOPMENT CO. INC.
 8155 HUNT CLUB ROAD
 ZIONSVILLE, IN 46077
 (317) 873-5956

STORM SEWER TABLE *							
STR. NO.	STATION	BASE LINE	OFFSET LT/RT	STRUCTURE TYPE	CASTING TYPE	T.C. ELEV.	INVERTS
111	12+30.2	A	188.3 LT	CATCH BASIN TYPE "W"	R-4342	891.10	888.58 E
112	12+30.2	A	143.8 LT	CATCH BASIN TYPE "W"	R-4342	891.50	888.48 W, 888.38 E
113	12+30.2	A	14.0 LT	INLET TYPE "J"	R-3501-N	891.02	888.02 W, 887.62 E
114	12+30.2	A	14.0 RT	INLET TYPE "J"	R-3501-N	891.02	887.56 W, 887.46S
115	11+13.9	A	18.4 RT	MANHOLE TYPE "A"	R-1714	890.74	887.14 N, 887.04 SE
116	9+50.0	A	14.0 RT	MANHOLE TYPE "A"	R-3501-N	890.22	886.65 NW, 885.85 E, 886.25 SW
117	0+44.6	D	14.0 RT	INLET TYPE "J"	R-3501-N	890.18	887.43 E
118	0+44.6	D	14.0 LT	INLET TYPE "J"	R-3501-N	890.18	887.35 W, 887.10 NW
119	5+84.3	A	17.8 RT	MANHOLE TYPE "D"	R-1714	890.39	885.42 W, 885.84 E, 886.83 SW, 885.32 N
120	5+84.3	A	174.1 RT	CONC. END SECTION	-	-	885.00
121	4+50.0	A	14.0 RT	INLET TYPE "J"	R-3501-N	889.46	886.63 S, 886.38 W
122	4+50.0	A	14.0 LT	INLET TYPE "J"	R-3501-N	889.46	886.71 N

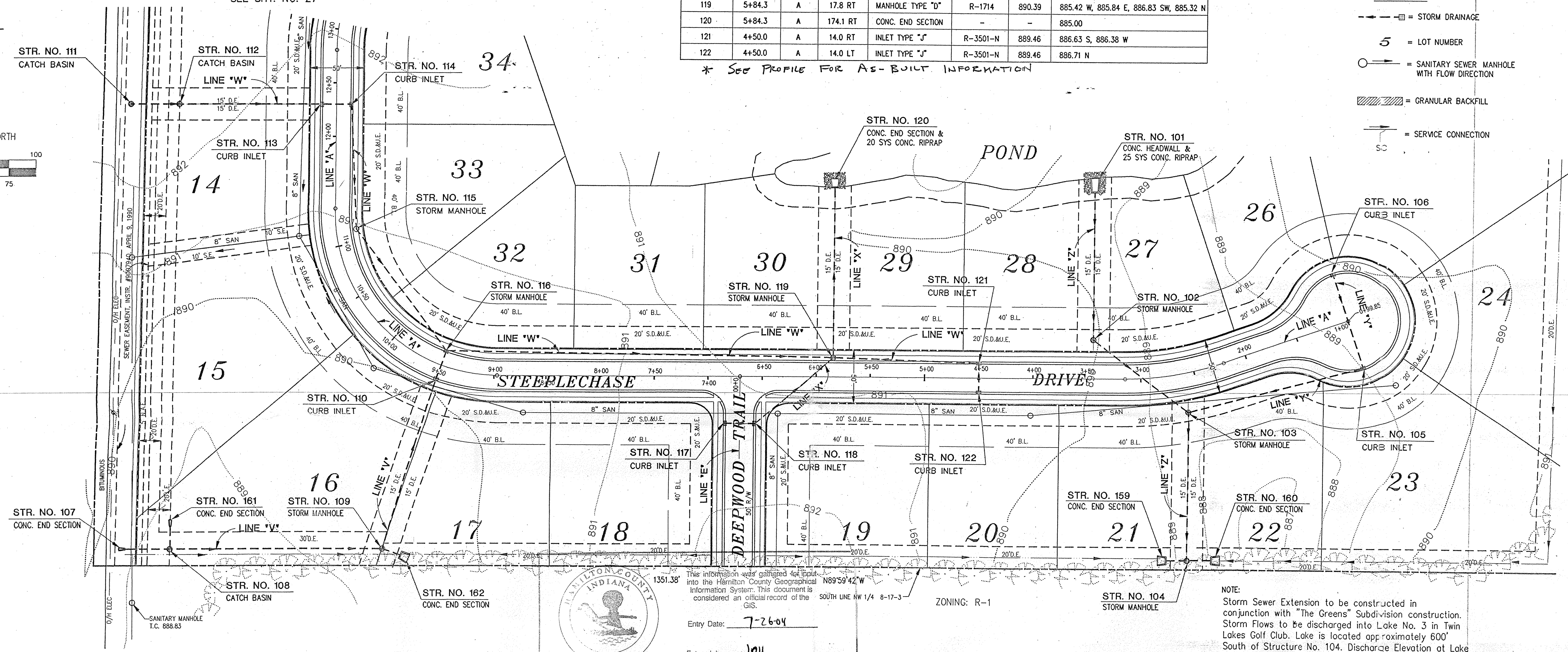
* See Profile For As-Built Information

LEGEND

- = STORM DRAINAGE
- 5 = LOT NUMBER
- → = SANITARY SEWER MANHOLE WITH FLOW DIRECTION
- ▨ = GRANULAR BACKFILL
- SC = SERVICE CONNECTION



FOR CONTINUATION SEE SHT. NO. 27

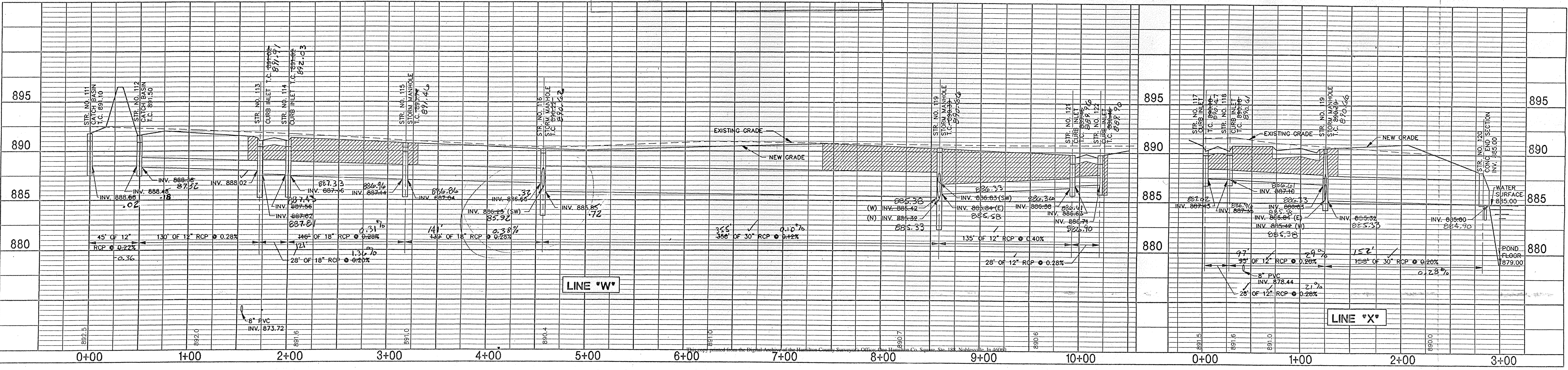


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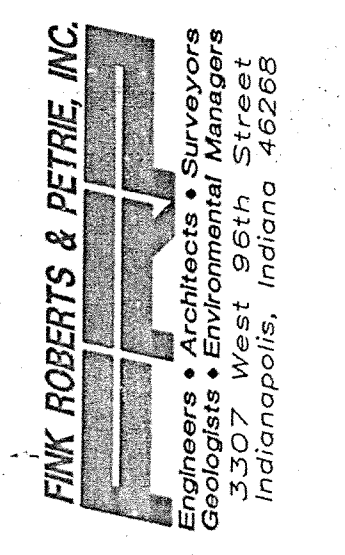
Entry Date: 7-26-04
Entered by: JDH

ZONING: R-1

NOTE:
Storm Sewer Extension to be constructed in conjunction with "The Greens" Subdivision construction. Storm Flows to be discharged into Lake No. 3 in Twin Lakes Golf Club. Lake is located approximately 600' South of Structure No. 104. Discharge Elevation at Lake Estimated at 883.00.



CERTIFIED BY



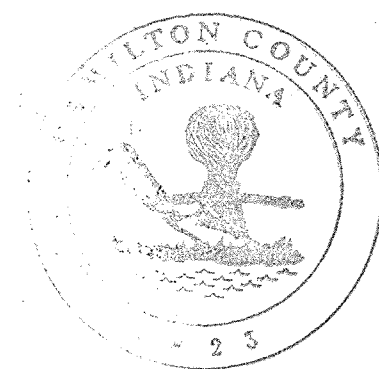
OWNER/DEVELOPER
BALAMOR DEVELOPMENT CO. INC.
8155 HUNT CLUB ROAD
ZIONSVILLE, IN 46077
(317) 873-5956

REVISION DATE REVISION DESCRIPTION

2/2/94	REVISED PIPE GRADES AND CASTING TYPES
6/10/94	REVISED STR. NO. 116 T.C.

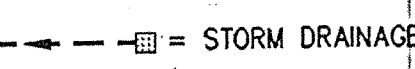
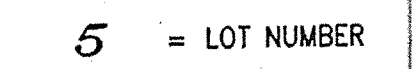



DESIGN DATE	12/10/93
DESIGN PROJECT NO.	93131
DESIGN DRAWN BY	LJA
DESIGN CHECKED BY	EEB

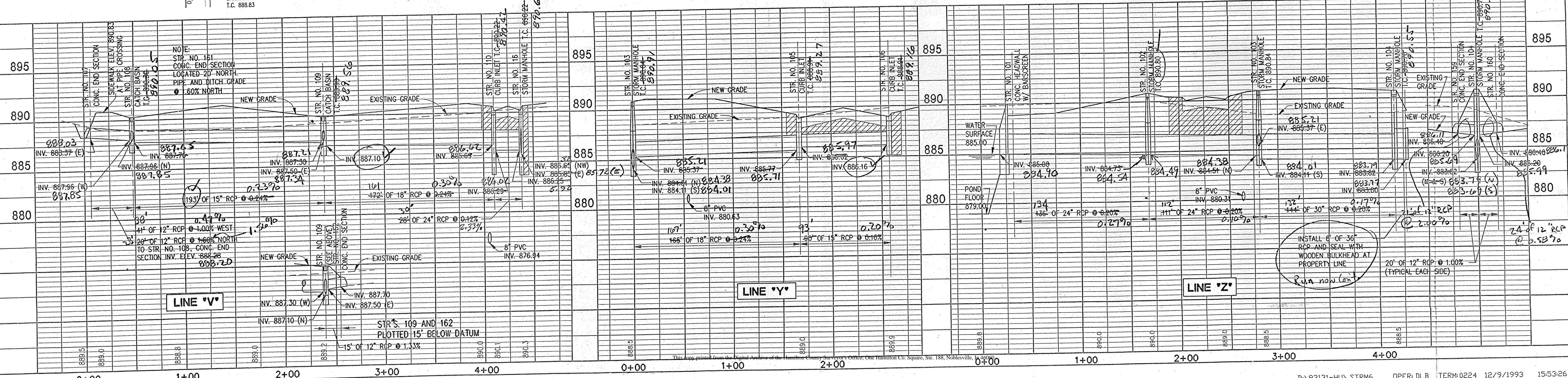
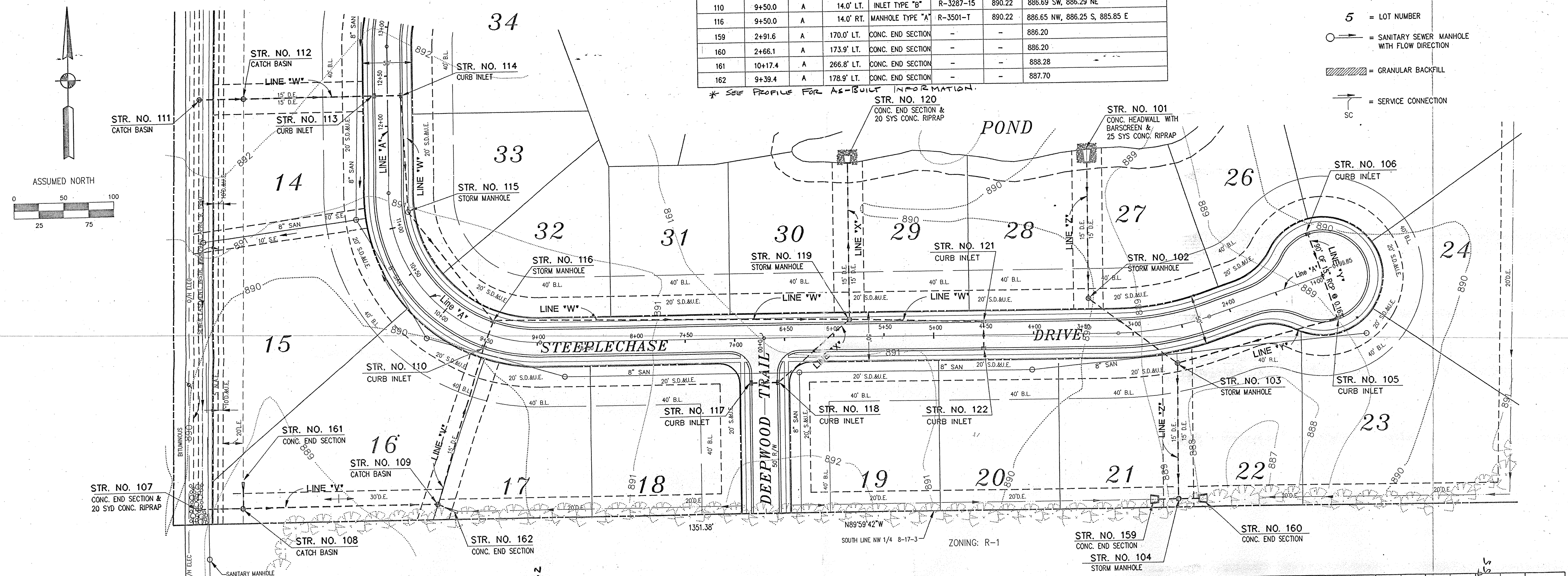
HUNTERSFIELD
STORM SEWERS
LINE "W" & "X"

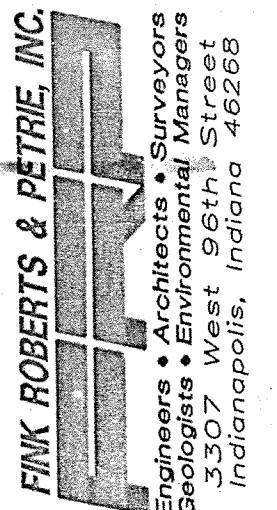

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 Entry Date: 7-26-04
 Entered by: JPH

STORM SEWER TABLE *						
STR. NO.	STATION	BASE LINE	OFFSET LT/RT	STRUCTURE TYPE	CASTING TYPE	T.C. ELEV.
101	3+44.4	A	171' RT.	CONC. HEADWALL	-	885.00 S
102	3+44.4	A	35.4' RT.	MANHOLE TYPE "D"	R-1714	890.80
103	2+61.8	A	36.6' LT.	MANHOLE TYPE "D"	R-1714	890.84
104	2+77.6	A	170.7' LT.	MANHOLE TYPE "D"	R-1714	890.70
105	0+99.8	A	45.5' LT.	INLET TYPE "J"	R-3501-T	888.91
106	0+99.8	A	45.5' RT.	INLET TYPE "J"	R-3501-T	888.91
107	10+22.0	A	311.5' LT.	CONC. END SECTION	-	888.37
108	10+12.6	A	281.7' LT.	CAT. BAS. TYPE "W"	R-4342	890.30
109	9+46.3	A	177.3' LT.	CAT. BAS. TYPE "W"	R-4342	889.90
110	9+50.0	A	14.0' LT.	INLET TYPE "B"	R-3287-15	890.22
116	9+50.0	A	14.0' RT.	MANHOLE TYPE "A"	R-3501-T	890.22
159	2+91.6	A	170.0' LT.	CONC. END SECTION	-	886.20
160	2+66.1	A	173.9' LT.	CONC. END SECTION	-	886.20
161	10+17.4	A	266.8' LT.	CONC. END SECTION	-	888.28
162	9+39.4	A	178.9' LT.	CONC. END SECTION	-	887.70

* SEE PROFILE FOR AS-BUILT INFORMATION.

LEGEND
 = STORM DRAINAGE
 = LOT NUMBER
 = SANITARY SEWER MANHOLE WITH FLOW DIRECTION
 = GRANULAR BACKFILL
 = SERVICE CONNECTION



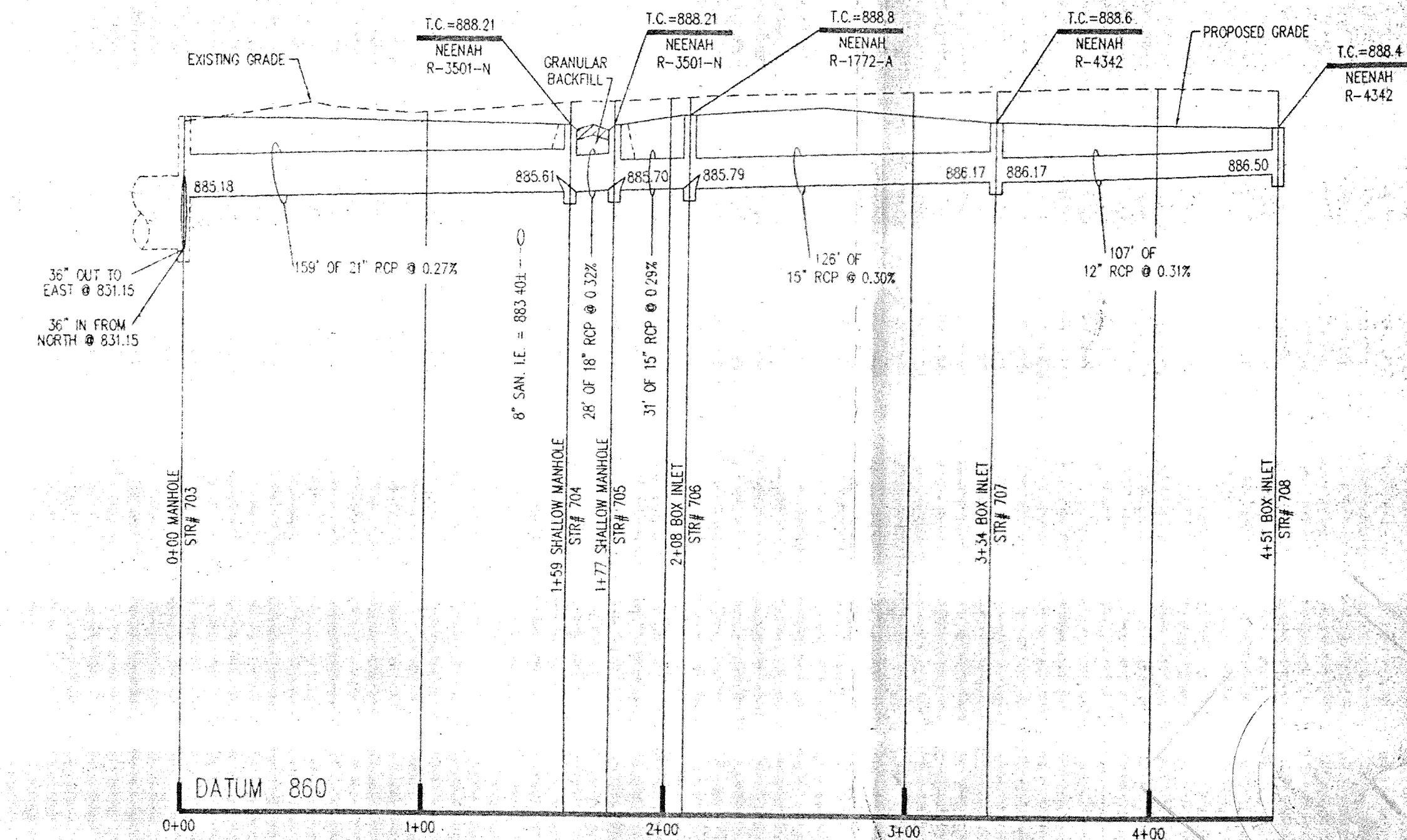
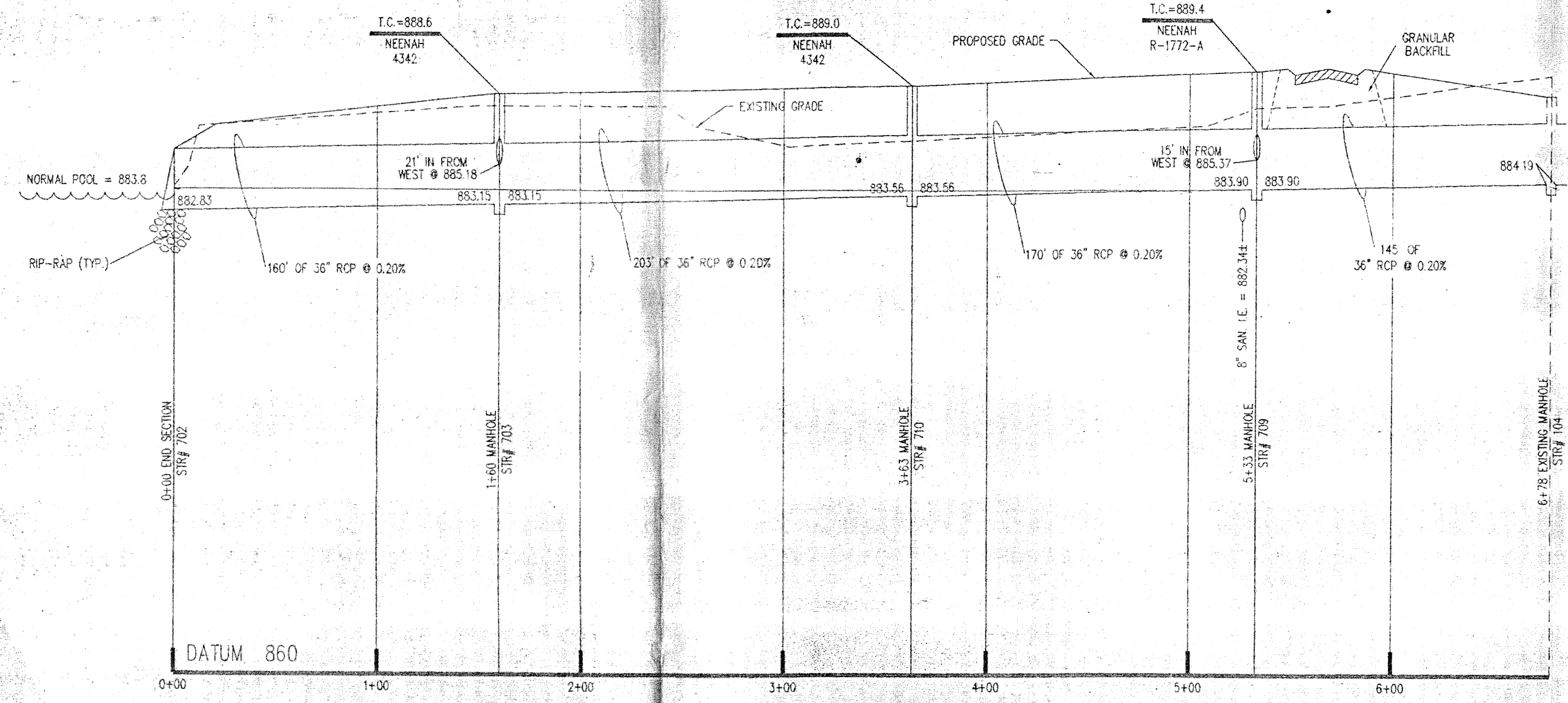
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 FINK ROBERTS & PETRIE, INC.
 Engineers, Architects, Surveyors
 3307 West 96th Street
 Indianapolis, Indiana 46268

OWNER/DEVELOPER
 BALAMOR DEVELOPMENT CO. INC.
 8155 HUNT CLUB ROAD
 ZIONSVILLE, IN 46077
 (317) 873-5956

REVISION DATE	REVISION DESCRIPTION
2/13/94	REV. CASTING TYPES
3/2/94	REV. 38"x24" HERCP TO 30" RCP
6/10/94	REV. STR. NOS. 110 & 116 TOP OF CASTING ELEV.
6/23/94	REV. STR. NOS. 108 & 109 TOP OF CASTING ELEV.

REVISION DATE	REVISION DESCRIPTION
12/10/93	REV. DATE
8/18/93	REV. PROJECT NO.
9/31/93	REV. PROJECT NO.
LJA	REV. DRAWN BY
DLB	REV. CHECKED BY
EEB	REV. SURVEY NO.

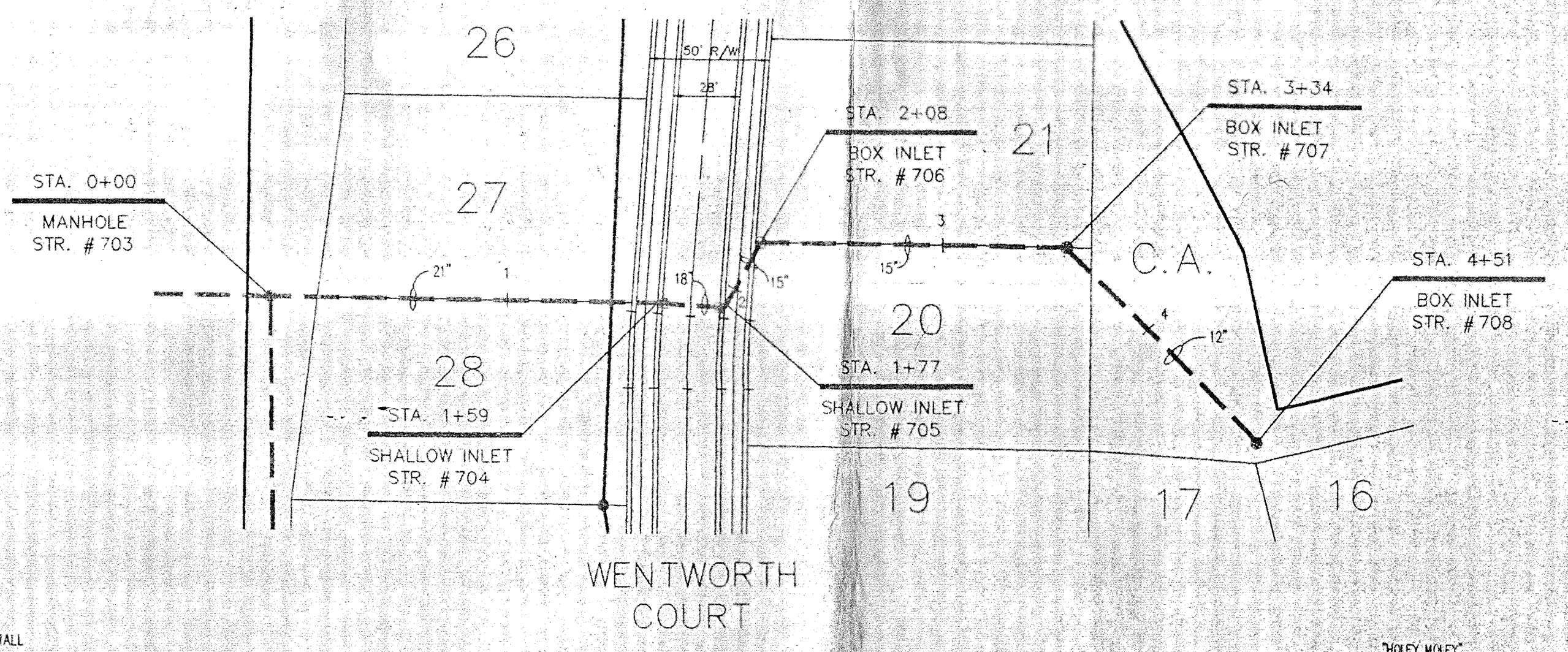
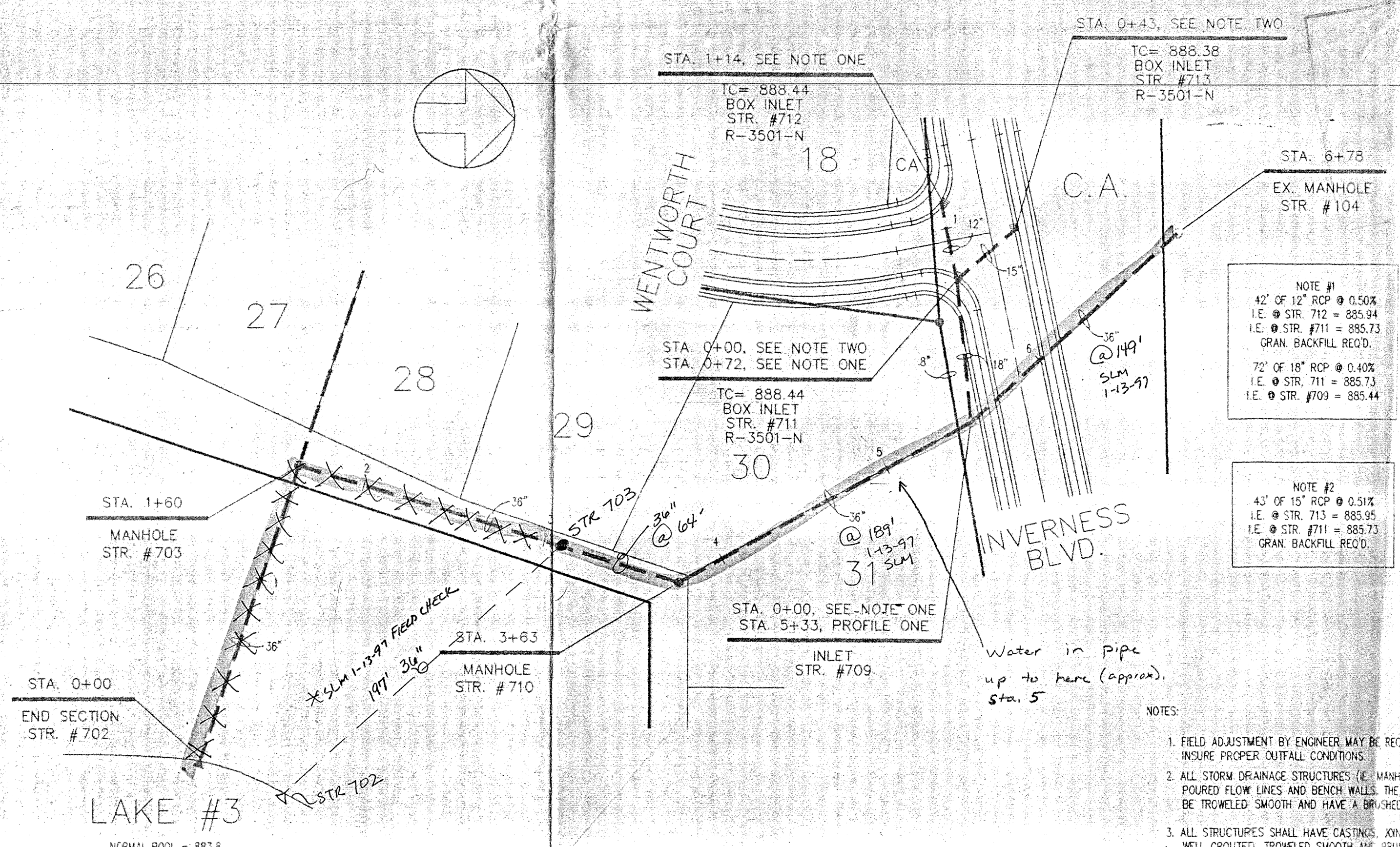
HUNTERSFIELD
 STORM SEWERS
 LINE "V", "Y" & "Z"



PROFILE ONE

PROFILE TWO

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 Entry Date: 7-26-04
 Entered by: JPH



PLAN ONE

PLAN TWO

- NOTES:
- FIELD ADJUSTMENT BY ENGINEER MAY BE REQUIRED AT ALL OUTFALL POINTS TO INSURE PROPER OUTFALL CONDITIONS.
 - ALL STORM DRAINAGE STRUCTURES (E. MANHOLES, CURB INLETS) SHALL HAVE POURED FLOW LINES AND BENCH WALLS. THE FLOW LINES AND BENCH WALLS SHALL BE TROWELED SMOOTH AND HAVE A BRUSHED FINISH.
 - ALL STRUCTURES SHALL HAVE CASTINGS, JOINTS, LIFT RINGS AND PIPE CONNECTIONS WELL GROUTED, TROWELED SMOOTH AND BRUSH FINISHED.
 - OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) STANDARDS FOR EXCAVATIONS: FINAL RULE 29 OF PART 1926, SUBPART "P" APPLIES TO ALL EXCAVATIONS EXCEEDING FIVE (5) FEET IN DEPTH.
 - IN ADDITION, EXCAVATIONS EXCEEDING TWENTY (20) FEET IN DEPTH REQUIRE THE DESIGN OF A TRENCH SAFETY SYSTEM BY A REGISTERED PROFESSIONAL ENGINEER.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO COMPLY WITH THE ABOVE STATED REQUIREMENTS.

CERTIFIED BY:

REVISIONS	DESCRIPTION

PLAN DATE: 3-11-94
 REV. DATE:

No. 1 BY

DAVIS DEVELOPMENT, L.P.
 3755 EAST 82nd ST. SUITE 120
 INDIANAPOLIS, INDIANA 46240
 OFFICE 317-595-2900
 FAX 317-595-2930

PROJECT: THE ESTATES SECTION ONE
 TITLE: STORM SEWER PLAN & PROFILE
 DRAWN BY: GJM
 SCALE: H: 1"=50' V: 1"=5'
 SHEET: C701

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